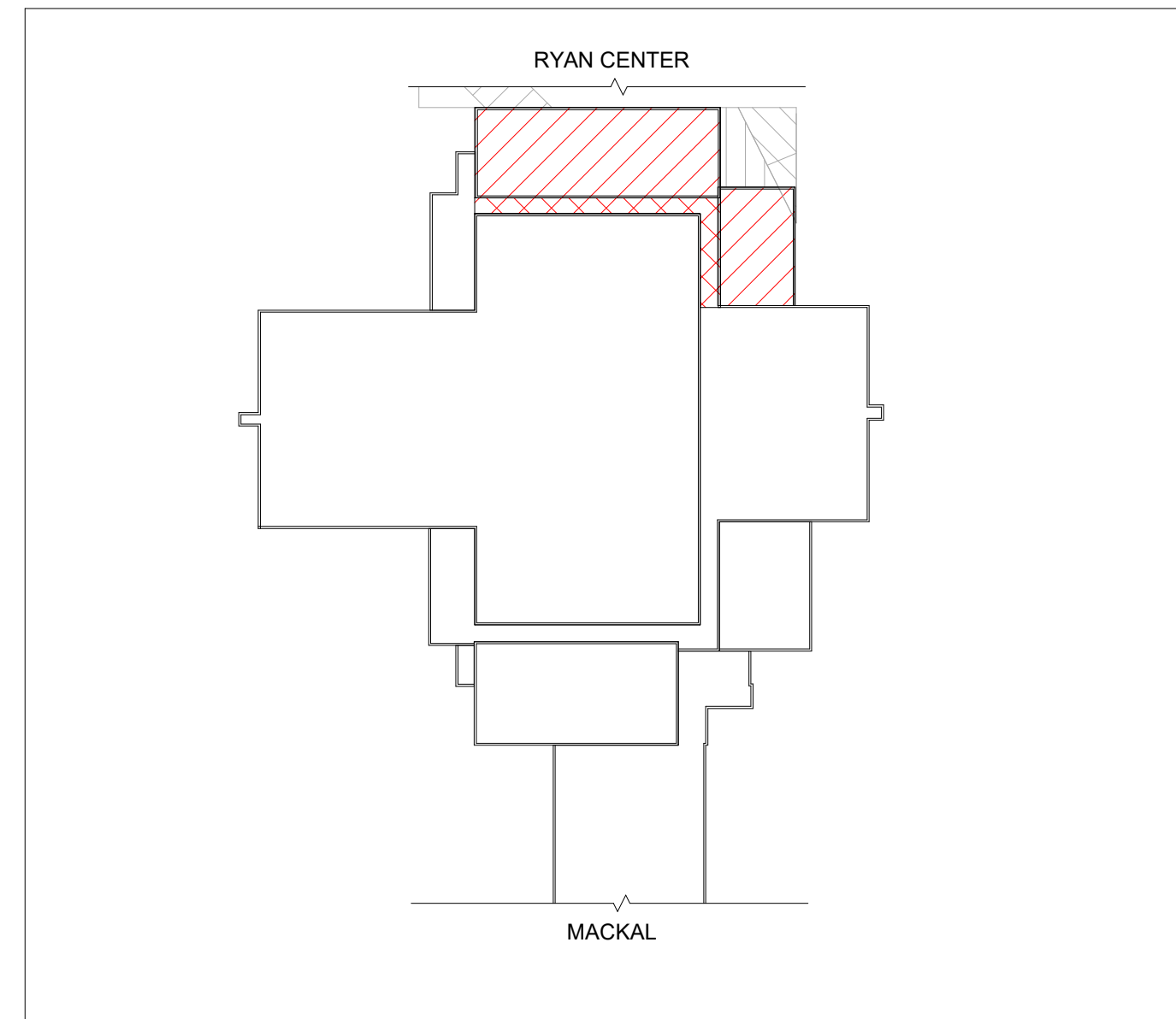




# REROOFING AT TOOTELL / RYAN CENTER CONNECTOR

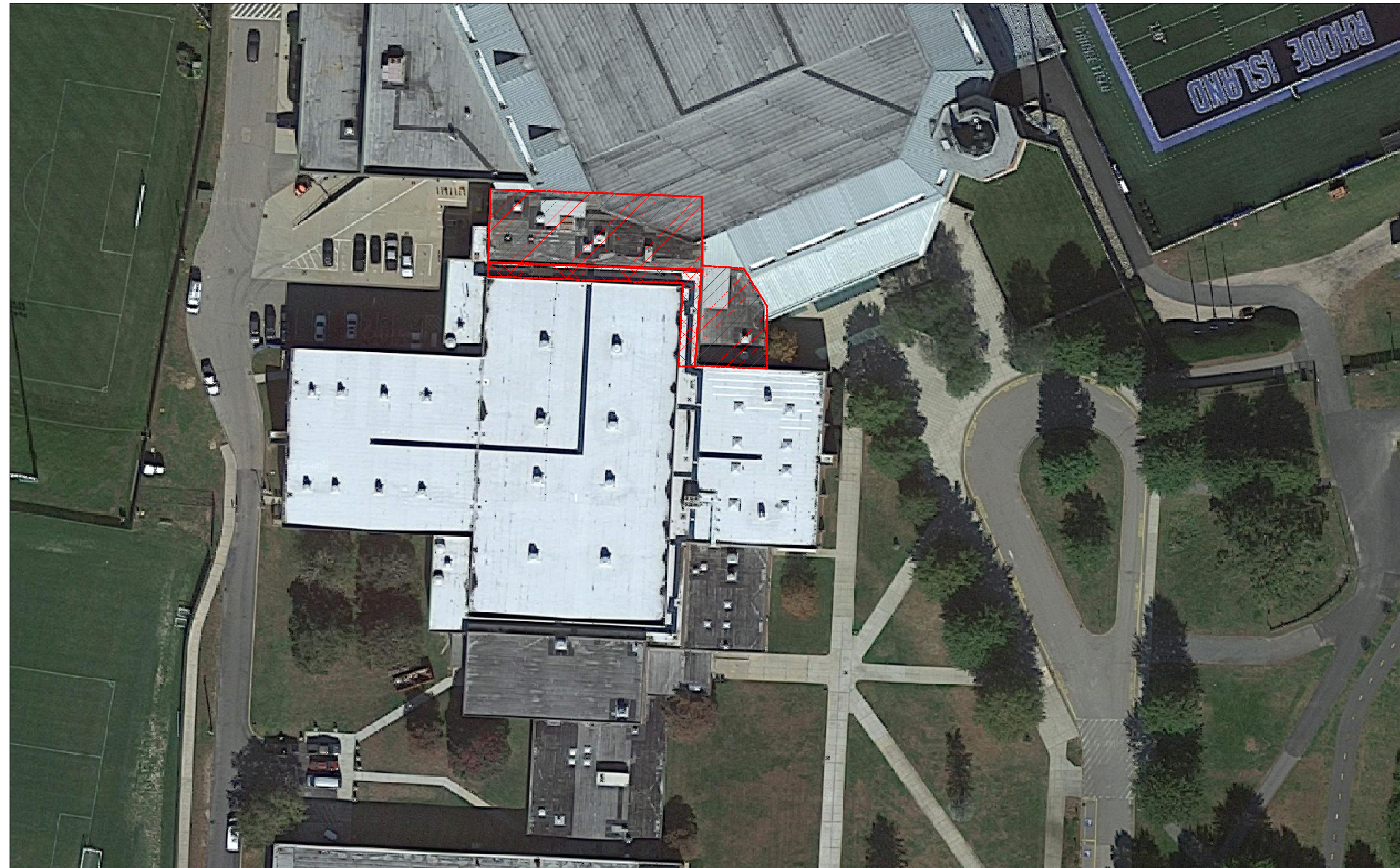
URI KINGSTON CAMPUS - KINGSTON, RI 02881





BUILDING KEY PLAN



LOCUS MAP



 BASE SCOPE - APPROX. 7000 S.F.  
 ALTERNATE - APPROX. 1500 S.F.

ROOF AERIAL VIEW



NO SCALE

## DESIGN AGENT

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## USER AGENCY

**UNIVERSITY OF RHODE ISLAND**

OFFICE OF CAPITAL PROJECTS  
SHERMAN BUILDING  
60 TOOTELL ROAD  
KINGSTON, RI 02881



PROJECT NAME  
**REROOFING AT  
TOOTELL /RYAN CENTER  
CONNECTOR**

PROJECT ISSUED  
**CONSTRUCTION DOCUMENTS  
07 / 31 / 2023**

PROJECT NUMBER  
**BTGA # 2203D  
URI # KC.A.TOOT.2023.001**

# GO.0



**GENERAL LEGEND**

	BATT INSULATION		MARBLE/ GRANITE
	BRICK		MILLWORK
	CONCRETE		PLASTIC/PVC
	CONCRETE BLOCK		PLYWOOD
	CULTURED STONE		RIGID INSULATION
	DISTURBED EARTH		RUBBLE
	UNDISTURBED EARTH		ASPHALT SHINGLES
	ENGINEERED WOOD (MDF, HDF, ETC.)		STEEL/METAL
	GLASS, SPECIALTY		WOOD SHINGLES
	GLASS, VERTICAL SURFACE		WOOD
	GYPSUM WALLBOARD		

**DISCLAIMER:** HATCH PATTERN SCALE ADJUSTS BY DRAWING SCALE. SEE OTHER DESIGN DISCIPLINES FOR ADDITIONAL LEGEND & SCHEDULE INFORMATION.

	EXTERIOR ELEVATION		ROOM NAME AND MARK
			LIMITS OF CONSTRUCTION
	INTERIOR ELEVATION		DOOR MARK
			WALL TYPE
	SECTION		WINDOW TYPE
	DETAIL		KEY NOTE
			EXISTING PARTITION EXISTING CONSTRUCTION
	DETAIL KEY		NEW PARTITION
			REVISION
	DETAIL CALLOUT		PHOTO SYMBOL
			ACCESSORY/FURNITURE / SPECIALTY EQUIPMENT MARK
	BENCHMARK ELEVATION		
	SPOT ELEVATION		REVISION CLOUD
	PROJECT NORTH SYMBOL (DASHED INDICATES TRUE NORTH)		FIRE EXTINGUISHER CABINET (F.E.C.)
	COLUMN GRID LINE NEW CONSTRUCTION		

**COMMON ABBREVIATIONS**

(USE OF PUNCTUATION IS OPTIONAL)

ABV ABOVE	ACC ACCESSIBLE	ACT ACUSTICAL CEILING TILE	ADA AMERICANS WITH DISABILITY ACT	ADDL ADDITIONAL	ADJ. ADJUSTABLE (OR) ADJACENT	A/E ARCHITECT/ENGINEER	A.S.F. ABOVE SUBFLOOR	A.F. ABOVE FLOOR	A.F.F. ABOVE FINISH FLOOR	AHJ AUTHORITY HAVING JURISDICTION	AL./ALUM. ALUMINUM	ALT. ALTERNATE	ANOD. ANODIZED	ARCH. ARCHITECT(U)RAL	A.P. ACCESS PANEL	APP. APPROXIMATE	APT. APARTMENT	APPROX. APPROXIMATE	ASI ARCHITECT'S SUPPLEMENTAL INSTRUCTION	AUTO. AUTOMATIC	AUX. AUXILIARY	BAS. BUILDING AUTOMATION SYSTEM BOARD	BD BEDROOM	BDRM. BOTTOM OF FROST ELEVATION	BFE. BITUMINOUS	BLDG. BUILDING	BLW. BELOW	BSMT. BASEMENT	BOTT. BOTTOM	B.O.F. BOTTOM OF FOOTING	B.O. BLOW OFF VENT	BLKG. BLOCKING	BIT. BITUMEN OR BITUMENOUS	BLUEBD. BLUEBOARD	BRK. BRICK	BRZ. BRONZE	BTWN. BETWEEN	CAB. CABINET	C.F.M.F. COLD-FORMED METAL FRAMING	CG. COLUMN GRID	C.L. CENTER LINE	CLL. CONTRACT LIMIT LINE	CLD. CLOSURE	CLG. CEILING	CLR. CLEAR(ANCE)	C.J. CONTROL JOINT	CMU. CONCRETE MASONRY UNIT	CO. CASED OPENING	COL. COLUMN	COMP. COMPRESS(ED), (ION), (IBLE)	CONC. CONCRETE	CONST. CONSTRUCTION	CONT. CONTINUE(L), (OUS)	COORD. COORDINATE	CPT. CARPET	CPR. COPPER	C.T. CERAMIC TILE	C.U.H. CABINET UNIT HEATER	DBL. DOUBLE	DEMO. DEMO(LISH), (LITION)	DEG. DEGREES	DET. DETAIL	D.F. DRINKING FOUNTAIN	DH. DOUBLE HUNG	DIA. DIAMETER	DIAG. DIAGONAL	DIM. DIMENSION	DISP. DISPOSE	DN. DOWN	DR. DOOR	DS. DOWNSPOUT	DTL. DETAIL	DWG. DRAWING	DWGS. DRAWINGS	DX. DUPLEX	EA. EACH	EL. ELEVATION	ELEC. ELECTRIC(AL)	ELEV. ELEVATOR	EMER. EMERGENCY	EMS. EMERGENCY MANAGEMENT SYSTEM	E.J. EXPANSION JOINT	EQ. EQUAL	EQUIP. EQUIPMENT	ETR. EXISTING TO REMAIN	EV. EXHAUST VENT	EX. EXISTING	EXIST. EXISTING	EXG. EXISTING	EXT. EXTERIOR	F.A. FIRE ALARM	F.A.R. FLOOR AREA RATIO	F.C.U. FAN COIL UNIT	F.D. FLOOR DRAIN	F.E. FIRE EXTINGUISHER	FEC. FIRE EXTINGUISHER CABINET	FF&E. FURNITURE, FIXTURE, AND EQUIPMENT	FGL. FIBERGLASS	FIN. FINISH	FIN.CLG. FINISH CEILING	FIN.FLR. FINISH FLOOR	FIN.SCH. FINISH SCHEDULE	FIXT. FIXTURE	FLR. FLOOR	FLUOR. FLUORESCENT	FND. FOUNDATION	F.O. FACE OF	F.P. FIRE PROTECTION	F.RATING. FIRE RATING	FR. FIRE RETARDANT	FRP. FIBERGLASS REINFORCED PLASTIC	FT. FEET	FTG. FOOTING	FURN. FURNITURE	GA. GAGE/GAUGE	GALV. GALVANIZED	GB. GRAB BAR	GL. GLASS	GLAM. GLUE LAMINATED BEAM	GLZ. GLAZING	GWB. GYPSUM BOARD	HC. HANDICAP	HDF. HIGH DENSITY FIBERBOARD	HM. HOLLOW METAL	HW. HARDWARE	HOR. HORIZONTAL	HR. HOUR	HT. HEIGHT	IN. INCHES	INCL. INCLUDE(D), (ING)	INFO. INFORMATION	INSUL. INSULATION	INT. INTERIOR	J.C. JANITOR'S CLOSET	J-BOX. JUNCTION BOX	JT. JOINT	K.B. KNOX BOX	KIT. KITCHEN	LAB. LABORATORY	LAV. LAVATORY	LB. POUND(S)	LCC. LIGHT EMITTING DIODE	L.F. LIGHT FIXTURE	L.H. LEFT HAND	LIB. LIBRARY	LIN. LINOLEUM	LKR. LOCKER	LVL. LAMINATED VENEER LUMBER	LOC. LOCATION	LVR. LOUVER	LVT. LUXURY VINYL TILE	MACH. MACHINE	MAS. MASONRY	MAT. MATERIAL	MAX. MAXIMUM	MCT. MARMOLEUM COMPOSITION TILE	MECH. MECHANICAL	MED. MEDIUM	MEMBR. MEMBRANE	MDF. MEDIUM DENSITY FIBERBOARD	MIL. MILLIMETER	MIN. MINIMUM	MISC. MISCELLANEOUS	M.O. MASONRY OPENING	M.R. MOISTURE RESISTANT	MTL. METAL	N.A. NOT APPLICABLE	NAT. NATURAL	N.C. NOISE CRITERIA	N.I.C. NOT IN CONTRACT	NKL. NICKEL	NOM. NOMINAL	NR. NUMBER	NR. NOT RATED	N.R.C. NOISE REDUCTION COEFFICIENT	N.T.S. NOT TO SCALE	O.C. ON CENTER	O.H. OPPOSITE HAND	OPNG. OPENING	OPP. OPPOSITE	ORIG. ORIGINAL	OHD. OVERHEAD	OZ. OUNCE	PCC. PRE-CAST CONCRETE	PERP. PERPENDICULAR	PL. PLATE	PLAM. PLASTIC LAMINATE	PANEL. PANEL	PNT. PAINT	PPL. PEOPLE	PTD. PAINTED	PR. PAIR	PREP. PREPARATION	P.T. PRESSURE TREATED	PTN. PARTITION	PWD. PLYWOOD	P.V. PLUMBING VENT	Q.T. QUARRY TILE	R# RADIUS	R. RISER	R.B. RESILIENT BASE	RCP. REFLECTED CEILING PLAN	R&D. REMOVE & DISPOSE	R.D. ROOF DRAIN	RE. REFER TO	REF. REFER	REFR. REFRIGERATOR	REQ. REQUIRE(D)	RES. RESILIENT	REV. REVISION	R.H. RIGHT HAND	RM. ROOM	R.O. ROUGH OPENING	RWB. RUBBER WALL BASE	SCHED. SCHEDULE	SD. SIDE	SECT. SECTION	SF. SQUARE FEET	SF. SUB FLOOR	S.GASKET. SMOKE GASKET	SGL. SAFETY GLASS	SHT. SHEET	SHTH. SHEATHING	SIM. SIMILAR	SPEC. SPEC (-FIED) (-FICATION)	SRL. SUBMITTAL REVIEW LETTER	SQ. SQUARE	S.S. STAINLESS STEEL	S.S.M. SOLID SURFACE MATERIAL	STC. SOUND TRANSMISSION COEFFICIENT	STD. STANDARD	STOR. STORAGE	STL. STEEL	STRUCT. STRUCTURAL	SUSP. SUSPEND(ED)	SYS. SYSTEM	T. TREAD	T&G. TONGUE AND GROOVE	TEL. TELEPHONE	TEMP. TEMPORARY	TGL. TEMPERED GLASS	THK. THICK(NESS)	THRESH. THRESHOLD	T.O. TOP OF	T.O.F. TOP OF FOOTING	T.O.S. TOP OF SHELF	T.O.W. TOP OF WALL	TS. TUBE STEEL	TSTAT. THERMOSTAT	TYP. TYPICAL	TZ. TERRAZZO	U.H. UNIT HEATER	UN.O. UNLESS NOTED OTHERWISE	V.A.T. VINYL ASBESTOS TILE	VCT. VINYL COMPOSITION TILE	VERT. VERTICAL	V.I.F. VERIFY IN FIELD	V.R. VAPOR RETARDER	W. WITH	W.C. WATER CLOSET	WD. WOOD	WDW. WINDOW	WWF. WATERPROOF SHINGLE UNDERLAYMENT	W.W. WELDED WIRE FABRIC	Z.C.C. ZINC COATED COPPER	@ & AT AND
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**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE PROJECT SITE.
- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS.
- THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- ALL DIMENSIONS OF NEW WORK ARE TO THE FACE OF CONCRETE AND MASONRY, AND THE CENTER OF METAL STUDS AND FRAME OPENINGS U.N.O.
- DIMENSIONS NOTED TO EXISTING PLANES SHALL REFER TO THE FINISHED SURFACE OF THE EXISTING WALL, FLOOR, OR CEILING PLANE, UNLESS NOTED OTHERWISE.
- ALL ITEMS OF WORK ARE TO BE NEW UNLESS NOTED AS EXISTING.
- CONTRACTOR SHALL VERIFY ALL DOOR AND WINDOW DIMENSIONS IN FIELD BEFORE PURCHASE.
- TYPICAL CONSTRUCTION IS INDICATED THROUGHOUT THE PROJECT. REPEATED SIMILAR GRAPHIC REPRESENTATION IS SUFFICIENT. NOTE AT EACH OCCURRENCE IS NOT REQUIRED.
- ALL ITEMS DETAILED IN SECTION ARE CONTINUOUS UNLESS NOTED OTHERWISE.
- FASTENERS, ADHESIVES AND OTHER SYSTEM COMPONENTS TYPICALLY REQUIRED ARE NOT CONSISTENTLY NOTED OR DETAILED. ONLY UNIQUE CONDITIONS ARE ILLUSTRATED. PROVIDE ALL ITEMS REQUIRED TO SAFELY SECURE, ATTACH OR STABILIZE ALL WORK AS RECOMMENDED BY ITS MANUFACTURER, AS REQUIRED BY CODE OR NECESSARY FOR THE ASSEMBLY'S PROPER PERFORMANCE WHETHER OR NOT DETAILED.
- ALL DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY AND MUST BE USED AS A SET FOR COMPLETE CONSTRUCTION INFORMATION.
- IT SHALL BE THE DUTY OF THE CONTRACTOR TO REQUEST FROM THE ARCHITECT ALL NECESSARY INTERPRETATION OF THE CONTRACT DOCUMENTS.
- DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT SHOW ALL DEMOLITION WORK REQUIRED TO COMPLETE THE CONTRACT WORK.
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- DRAWINGS INDICATE APPROXIMATE LOCATION OF FIELD CONDITIONS. VERIFY IN FIELD.
- DRAWINGS INDICATE SCOPE OF WORK. ACTUAL EXTENT OF WORK TO BE DETERMINED BY FIELD OBSERVATION.
- DIMENSIONS AND ELEVATIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING STRUCTURES ARE THE BEST AVAILABLE DATA OBTAINABLE BUT ARE NOT GUARANTEED BY THE OWNER AND THE OWNER WILL NOT BE RESPONSIBLE FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS, GRADES, LINES, LEVELS, OR OTHER CONDITIONS OF LIMITATIONS AT THE SITE TO AVOID CONSTRUCTION ERRORS. IF ANY WORK IS PERFORMED BY THE CONTRACTOR OR ANY OF HIS SUB-CONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, ANY RESULTANT EXTRA COST FOR ADJUSTMENT OF WORK AS REQUIRED TO CONFORM TO EXISTING LIMITATIONS SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.
- OMISSION FROM THE DRAWINGS AND SPECIFICATIONS OF ITEMS WHICH OBVIOUSLY ARE NEEDED TO PROPERLY PERFORM THE WORK, SUCH AS ATTACHMENTS, BOLTS, HANGERS, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THEM.
- IT IS INTENDED THAT ALL DIMENSIONS AND FIGURES ON THE DRAWINGS SHALL AGREE. THE CONTRACTOR SHALL CONFIRM THEM BEFORE STARTING THE WORK AND SHALL REPORT IN WRITING ALL DISCREPANCIES TO THE ARCHITECT FOR ADJUSTMENT.
- AFTER THE CONTRACT HAS BEEN AWARDED, THE CONTRACTOR WILL SUBMIT A FULL BAR CHART TYPE SCHEDULE THAT WILL INDICATE ALL MAJOR AND MINOR MILESTONES FOR THE WORK. THE CONTRACTOR WILL ALSO SUBMIT A FULL SUBMITTAL AND SHOP DRAWING SCHEDULE FOR ALL COMPONENTS.
- ALL SUBMITTALS AND SHOP DRAWINGS WILL NEED TO BE STAMPED AS HAVING BEEN REVIEWED AND APPROVED BY THE CONTRACTOR FOR CONFORMANCE WITH THE PROJECT PRIOR TO SUBMITTING TO THE ARCHITECT. ANY SUBMITTAL WITHOUT THIS STAMP WILL BE PROMPTLY REJECTED AND RETURNED.
- CHECKING OF THE SUBMITTALS AND SHOP DRAWINGS BY THE ARCHITECT IS ONLY FOR LIMITED GENERAL CONFORMANCE WITH THE INFORMATION GIVEN AND DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR QUANTITIES AND DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOBSITE, AS WELL AS CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, JOBSITE SAFETY AND COORDINATION OF THEIR WORK WITH THAT OF THE OTHER TRADES.
- CAREFULLY REVIEW THE SPECIFICATIONS FOR REQUIREMENTS RELATED TO FIELD APPROVED "MOCKUPS". ANY WORK BEGUN WITHOUT THE AUTHORIZATION OF AN APPROVED MOCKUP BY THE OWNER AND THE ARCHITECT IS AT THE CONTRACTOR'S RISK. UNSATISFACTORY WORK IS SUBJECT TO POSSIBLE REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, CONSULT ARCHITECT FOR CLARIFICATION OF DESIRED METHOD. DURING THE BIDDING PHASE IF DISCREPANCIES ARE FOUND IN THE CONTRACT DOCUMENTS AND NOT CLARIFIED, CARRY THE AMOUNT OF WORK WHICH WOULD COME AT A GREATER COST.
- CERTIFY AS PART OF EACH APPLICATION FOR PAYMENT THAT THE PROJECT RECORD DOCUMENTS "AS-BUILTS" ARE CURRENT AT THE TIME OF THE APPLICATION SUBMITTED. SUCH DRAWINGS ARE REQUIRED TO BE CURRENT AS A CONDITION OF APPROVING ANY PAYMENT TO THE CONTRACTOR OR SUB-CONTRACTOR.

**CODE SUMMARY**

APPLICABLE CODES	
•	RISRC-1 State Rehabilitation Building and Fire Code for Existing Structures
•	Rhode Island State Building Code, SBC-1 (Incorporates International Building Code, 2018 Edition, by reference)
•	Rhode Island Fire Code, NFPA 1, 2018
•	Rhode Island Life Safety Code, NFPA 2018
•	ASCE 7-16 ASD

**BUILDING INFORMATION**

ZONING INFORMATION	
GI - Government and Institutional	
OCCUPANCY CLASS	
Use/Occupancy	Business (B)
Accessory Use	Assembly (A3)
Incidental Uses	N/A
Occupancy Separation	N/A
TYPE OF CONSTRUCTION	
Construction Type:	Type IIB
	Non-combustible Building Elements
	SBC Table 601

**FIRE & SMOKE PROTECTION**

Rated Assemblies	REQUIRED	PROVIDED	REFERENCE
Roof Protection	0 HR required at type IIB	0 HR	SBC Table 601

**ENERGY EFFICIENCY**

Rated Assemblies	REQUIRED	PROVIDED	REFERENCE
Roof Insulation	Roof replacement is not required to meet 1/4" if it has existing positive drainage.	Insulation Thickness to match existing.	SBC 1511.1 Exception 1

\*ALL ROOFING MATERIALS TO BE CLASS A FIRE RATED.

**DRAWING LIST**

SHEET	SHEET NAME
GENERAL	
G0.0	COVER SHEET
G0.1	SHEET LIST & TYPICAL INFORMATION
DEMOLITION	
D1.1	DEMOLITION ROOF PLANS
D1.2	ROOF PHOTOS
ARCHITECTURAL	
A1.1	ROOF PLAN, WALL & ROOF TYPES
A5.1	ROOF DETAILS
A5.2	ROOF DETAILS

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SHEET TITLE  
**SHEET LIST & TYPICAL INFORMATION**

SHEET  
**G0.1**





- UPPER ROOF TEST CUT:**
1. TECTUM DECK
  2. PLY VAPOR BARRIER
  3. 3" POLYISOCYANURATE INSULATION
  4. 1/2" WOOD FIBERBOARD
  5. 4 PLY MINERAL SURFACE MODIFIED BITUMEN (3 BASE PLIES & 1 CAP PLY)

① UPPER ROOF TEST CUT  
1/2" = 1'-0"



- LOWER ROOF TEST CUT:**
1. TECTUM DECK
  2. PLY VAPOR BARRIER
  3. 3" POLYISOCYANURATE INSULATION
  4. 1/2" WOOD FIBERBOARD
  5. 4 PLY MINERAL SURFACE MODIFIED BITUMEN (3 BASE PLIES & 1 CAP PLY)

② LOWER ROOF TEST CUT  
1/2" = 1'-0"



- ALLEY ROOF TEST CUT:**
1. CONCRETE DECK
  2. 2 PLY HOT APPLIED VAPOR BARRIER
  3. 2" POLYISOCYANURATE
  4. SINGLE PLY PVC

③ WALKWAY ROOF TEST CUT  
1/2" = 1'-0"

**DEMOLITION NOTES**

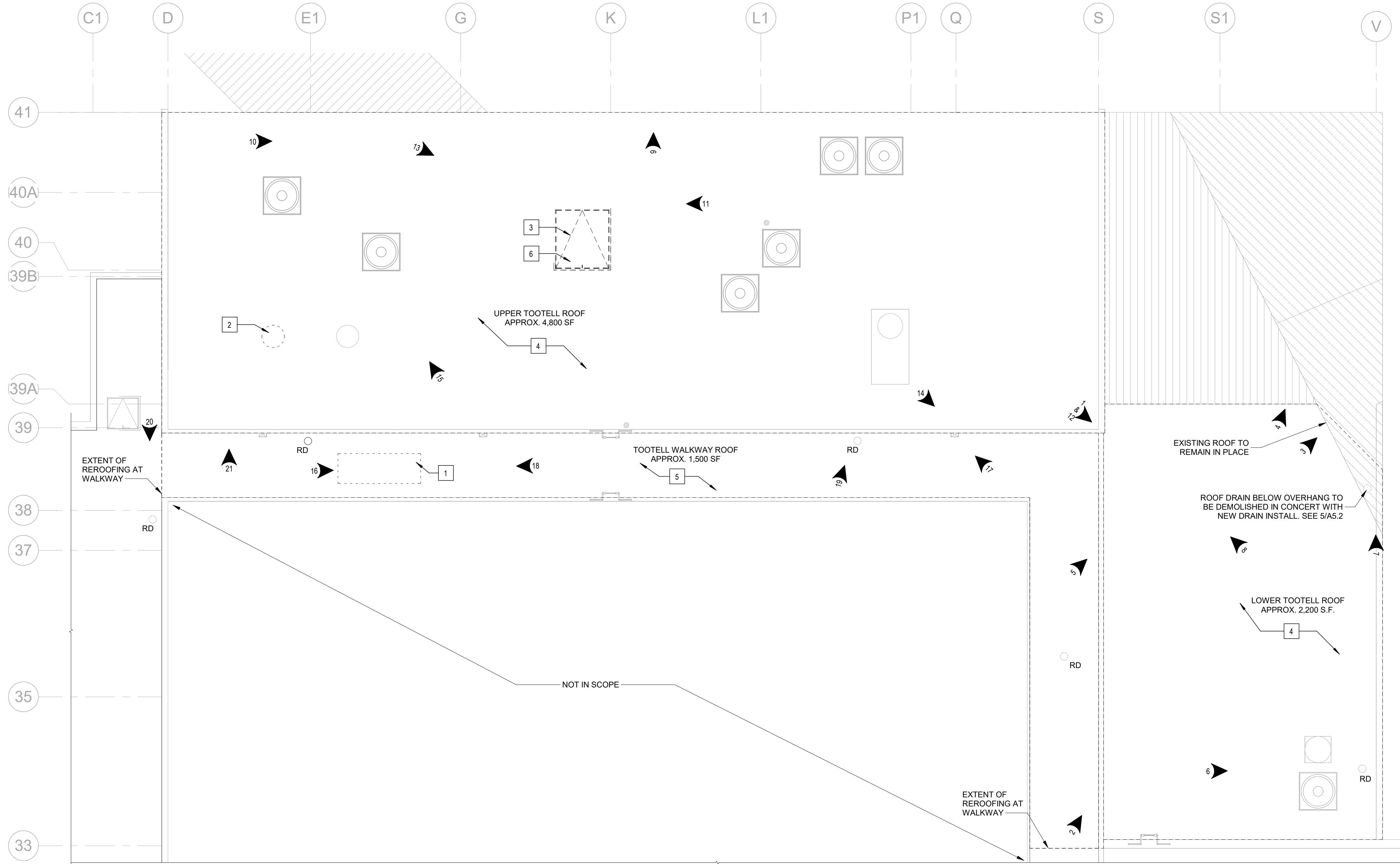
1. - - - - INDICATES ITEM OR AREA TO BE REMOVED.
2. PROVIDE TEMPORARY SUPPORT DURING REMOVAL OF ANY AND ALL STRUCTURAL ELEMENTS.
3. PROTECT ALL AREAS ADJACENT TO OR AFFECTED BY WORK DURING CONSTRUCTION. PROVIDE DUST CONTAINMENT FOR ALL WORK AREAS.
4. CLEAN WORK AREA AND AREAS AFFECTED BY CUTTING AND PATCHING OPERATIONS.
5. PATCH WALLS & CEILING AT DEMO'D AREAS TO MATCH EXISTING ADJACENT SURFACES.
6. SEE DEMOLITION PLANS FOR SPECIFIC NOTES.
7. CAP ALL ABANDONED PLUMBING LINES AND ELECTRICAL OUTLETS.
8. ALL PORTIONS OF THE BUILDING TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE UNLESS DIRECTED OTHERWISE.
9. PRECAUTIONS AND TEMPORARY SHORING SHALL BE PLACED TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE THROUGHOUT DEMOLITION AND MASONRY WORK.
10. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE AND ANY OTHER AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. COMPLY WITH GOVERNING CODES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED TO COMPLETE THE WORK.
11. PROVIDE WEATHER TIGHT TEMPORARY PROTECTION FOR ALL OPENINGS IN EXTERIOR WALLS, ROOF, AND AT WINDOW AND DOOR HEADS.
12. SHOULD SUSPECTED HAZARDOUS MATERIALS BE ENCOUNTERED, CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY.
13. PROVIDE CUTTING AND PATCHING WORK TO PROPERLY COMPLETE THE WORK OF THE PROJECT, COMPLYING WITH PROJECT REQUIREMENTS FOR: a.) STRUCTURAL WORK; b.) MECHANICAL WORK; c.) VISUAL REQUIREMENTS, INCLUDING DETAILING AND TOLERANCES.
14. DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS INTENDED, DECREASE ENERGY PERFORMANCE, INCREASE MAINTENANCE, DECREASE OPERATION LIFE, OR DECREASE SAFETY PERFORMANCE.
15. MATCH EXISTING MATERIALS FOR CUTTING AND PATCHING WORK WITH NEW MATERIALS CONFORMING TO PROJECT REQUIREMENTS.
16. INSPECT CONDITIONS PRIOR TO WORK TO IDENTIFY SCOPE AND TYPE OF WORK REQUIRED. NOTIFY OWNER OF WORK REQUIRING INTERRUPTION TO BUILDING SERVICES OR OWNER'S OPERATIONS.
17. CUTTING: USE CUTTING TOOLS, NOT CHOPPING TOOLS. MAKE NEAT HOLE. MINIMIZE DAMAGE TO ADJACENT WORK. INSPECT FOR CONCEALED UTILITIES AND STRUCTURE BEFORE CUTTING.
18. PATCHING: MAKE PATCHES, SEAMS, AND JOINTS DURABLE AND INCONSPICUOUS.
19. REFER TO A1 SHEETS FOR RELEVANT DIMENSIONS AND ADDITIONAL NOTES WHERE APPLICABLE.
20. REVIEW UNIQUE EXISTING CONDITIONS FOUND IN THE FIELD DURING DEMOLITION WITH ARCHITECT.
21. CONTRACTOR TO ARRANGE FOR DISCONNECT AND CAPPING OF UTILITIES AS REQUIRED. PROTECT UTILITIES TO REMAIN. VERIFY LOCATION AND STATUS OF UTILITIES BEFORE BEGINNING DEMOLITION WORK.
22. VERIFY WITH OWNER BEFORE STARTING WORK WHICH ITEMS ARE TO BE SALVAGED FOR THEIR USE. CAREFULLY REMOVE AND STORE SUCH ITEMS AS DIRECTED BY OWNER.
23. PROTECT ADJACENT AREAS AND STRUCTURES TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR RESTORING ANY AREAS OR SURFACES WHICH ARE DAMAGED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS DURING DEMOLITION.

**DEMOLITION LEGEND**

- SEE DEMOLITION KEYNOTES FOR ADDITIONAL INFORMATION NTS
- - - - - INDICATES ITEM OR AREA TO BE REMOVED
  - [Solid Line] WALL STRUCTURE TO REMAIN, WALL
  - - - - - WALL TO BE REMOVED IN ITS ENTIRETY
  - [Dashed Line] EXISTING DOOR & FRAME TO BE REMOVED
  - [Dashed Line] EXISTING WINDOW AND FRAME TO BE REMOVED
  - XX DEMOLITION KEY NOTE, SEE KEY NOTE SCHEDULE

**DEMOLITION KEYNOTES**

KEYNOTE NUMBER	KEYNOTE
1	REMOVE AND DISPOSE OF EXISTING UNUSED MECHANICAL EQUIPMENT. CUT STRUCTURAL DUNNAGE DOWN TO ROOF LEVEL.
2	REMOVE AND DISPOSE OF EXISTING FLUE HOUSING.
3	REMOVE AND DISPOSE OF EXISTING ROOF HATCH DOWN TO DECK. REMOVE ALL ASSOCIATED INFILL.
4	REMOVE AND DISPOSE OF EXISTING ROOFING DOWN TO DECK. PREP FOR NEW ROOFING.
5	ALTERNATE #1 - REMOVE AND DISPOSE OF EXISTING ROOFING DOWN TO DECK. PREP. FOR NEW ROOFING.
6	PROTECT EXISTING SPRINKLER SYSTEM BELOW DURING DEMOLITION.



④ ROOF PLAN(1)  
1/8" = 1'-0"

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SHEET TITLE  
**DEMOLITION**  
**ROOF PLANS**

SHEET  
**D1.1**



**LOWER ROOF**



PHOTO 1



PHOTO 6

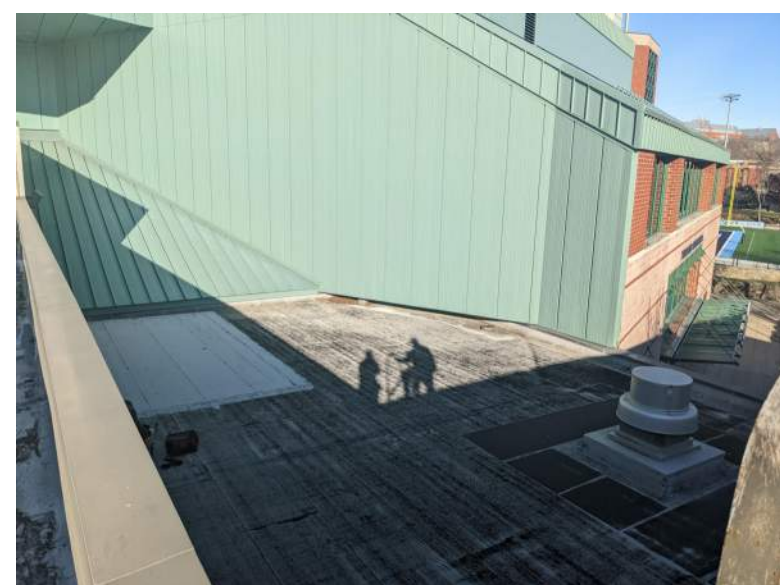


PHOTO 2



PHOTO 7



PHOTO 3

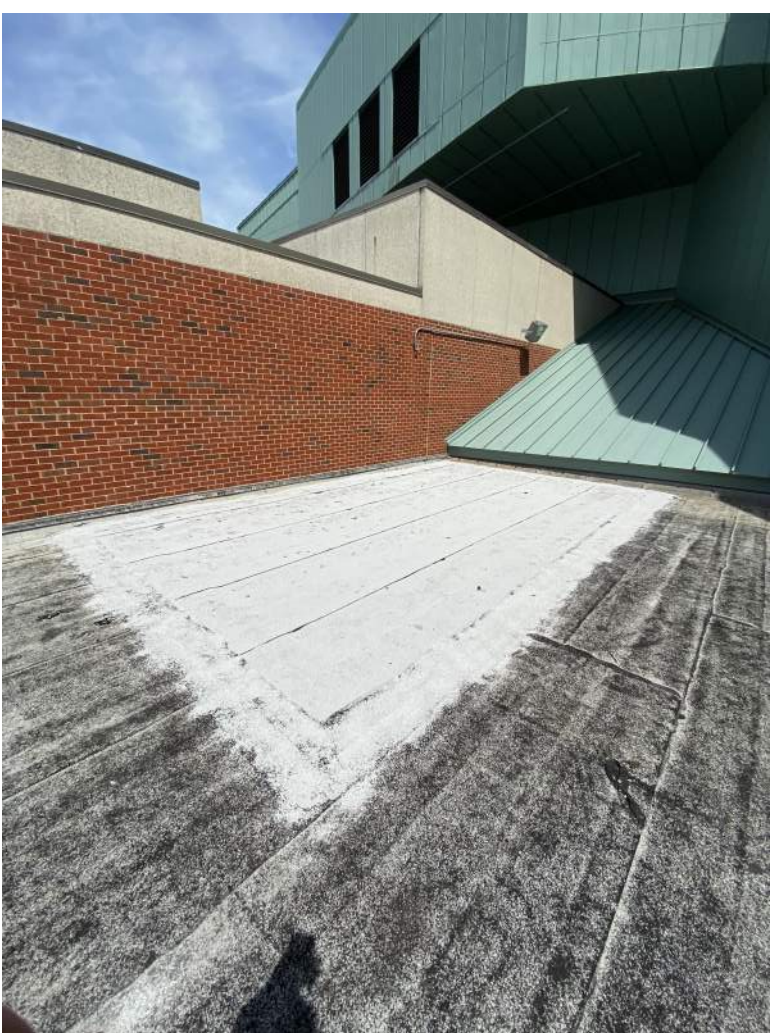


PHOTO 8



PHOTO 4



PHOTO 5

**UPPER ROOF**



PHOTO 9



PHOTO 12



PHOTO 10



PHOTO 13



PHOTO 14



PHOTO 11

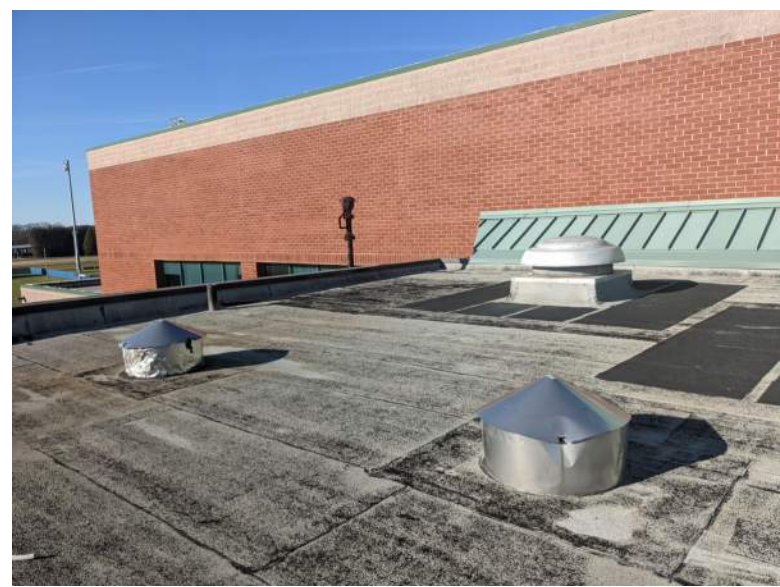


PHOTO 15

**CONNECTOR**



PHOTO 16



PHOTO 19



PHOTO 17



PHOTO 20



PHOTO 18



PHOTO 21

**REROOFING AT**  
**TOOTELL / RYAN CENTER**  
**CONNECTOR**  
 105 KEANEY ROAD  
 KINGSTON, RI 02881

**BREWSTER**  
**THORNTON**  
**GROUP**  
**ARCHITECTS**  
LLP

317 Iron Horse Way,  
 Suite 202  
 Providence, RI 02908

401.861.1600  
 brewsterthornton.com



JOB NO: **2203D**      DATE: **07/31/2023**

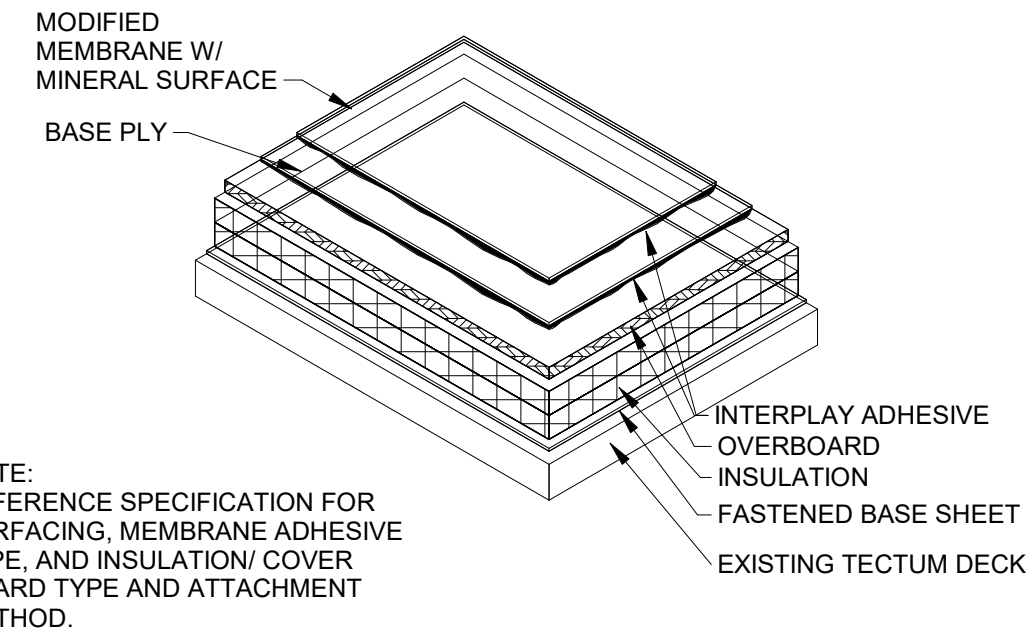
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SHEET TITLE  
**ROOF PHOTOS**

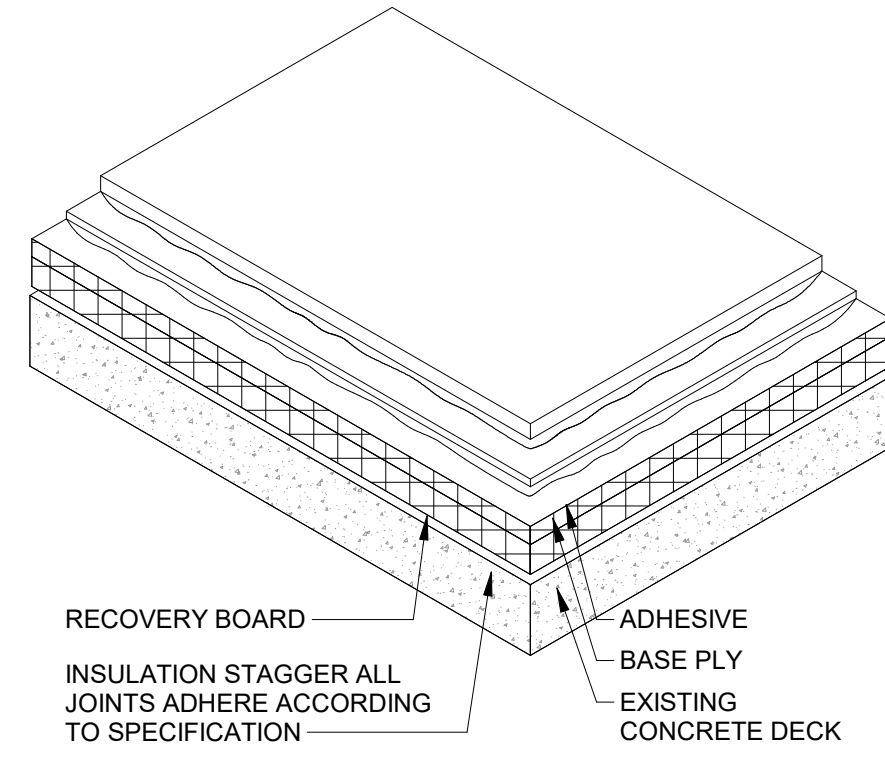
SHEET  
**D1.2**





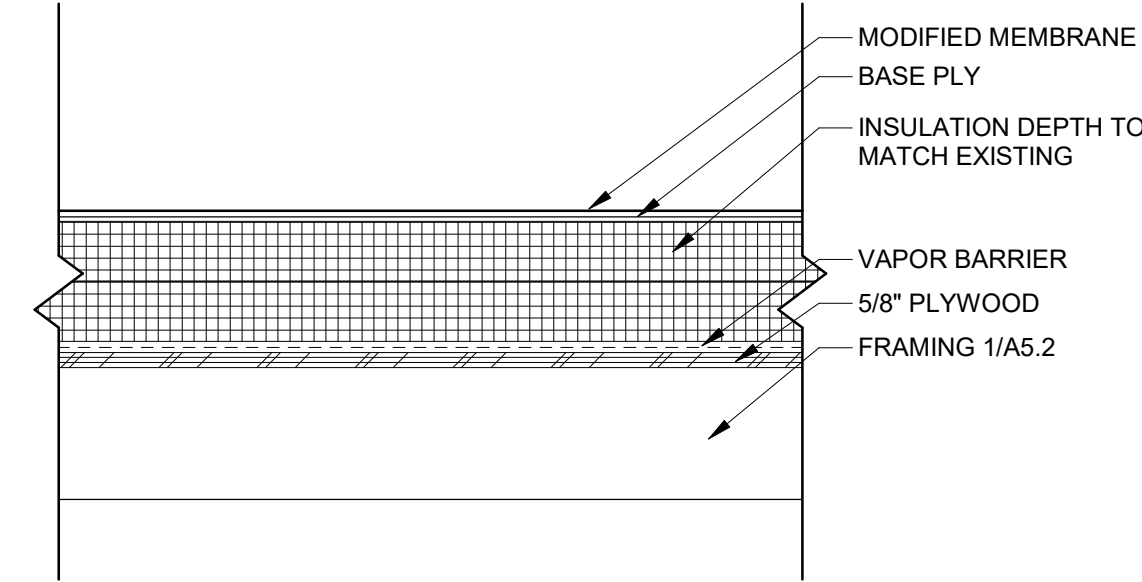
NOTE:  
REFERENCE SPECIFICATION FOR SURFACING, MEMBRANE ADHESIVE TYPE, AND INSULATION/COVER BOARD TYPE AND ATTACHMENT METHOD.

③ TYPICAL MINERAL ROOF SURFACE  
1 1/2" = 1'-0"



RECOVERY BOARD  
INSULATION STAGGER ALL JOINTS ADHERE ACCORDING TO SPECIFICATION  
ADHESIVE  
BASE PLY  
EXISTING CONCRETE DECK  
SEE SPECIFICATIONS FOR ADHESIVE

④ TYPICAL SECTION FINISH AT KEE  
1 1/2" = 1'-0"

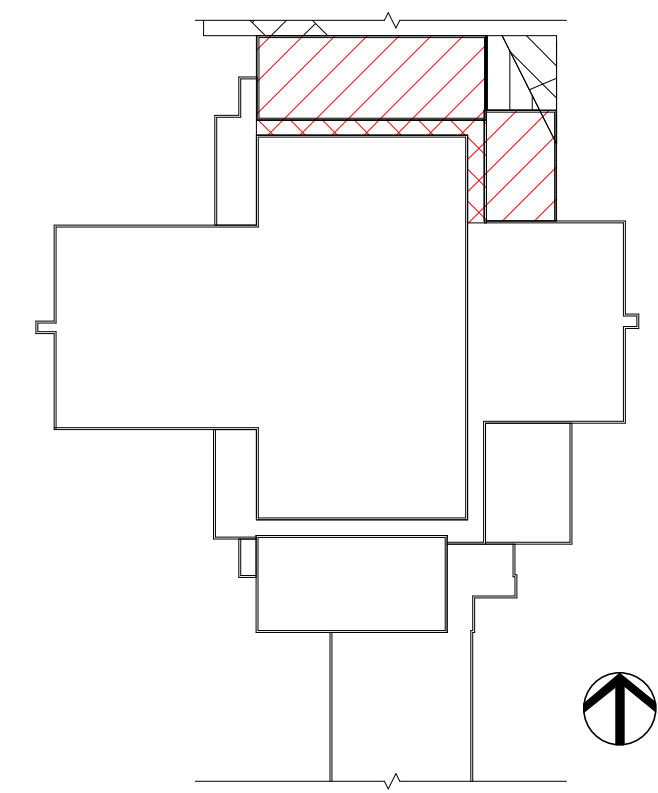
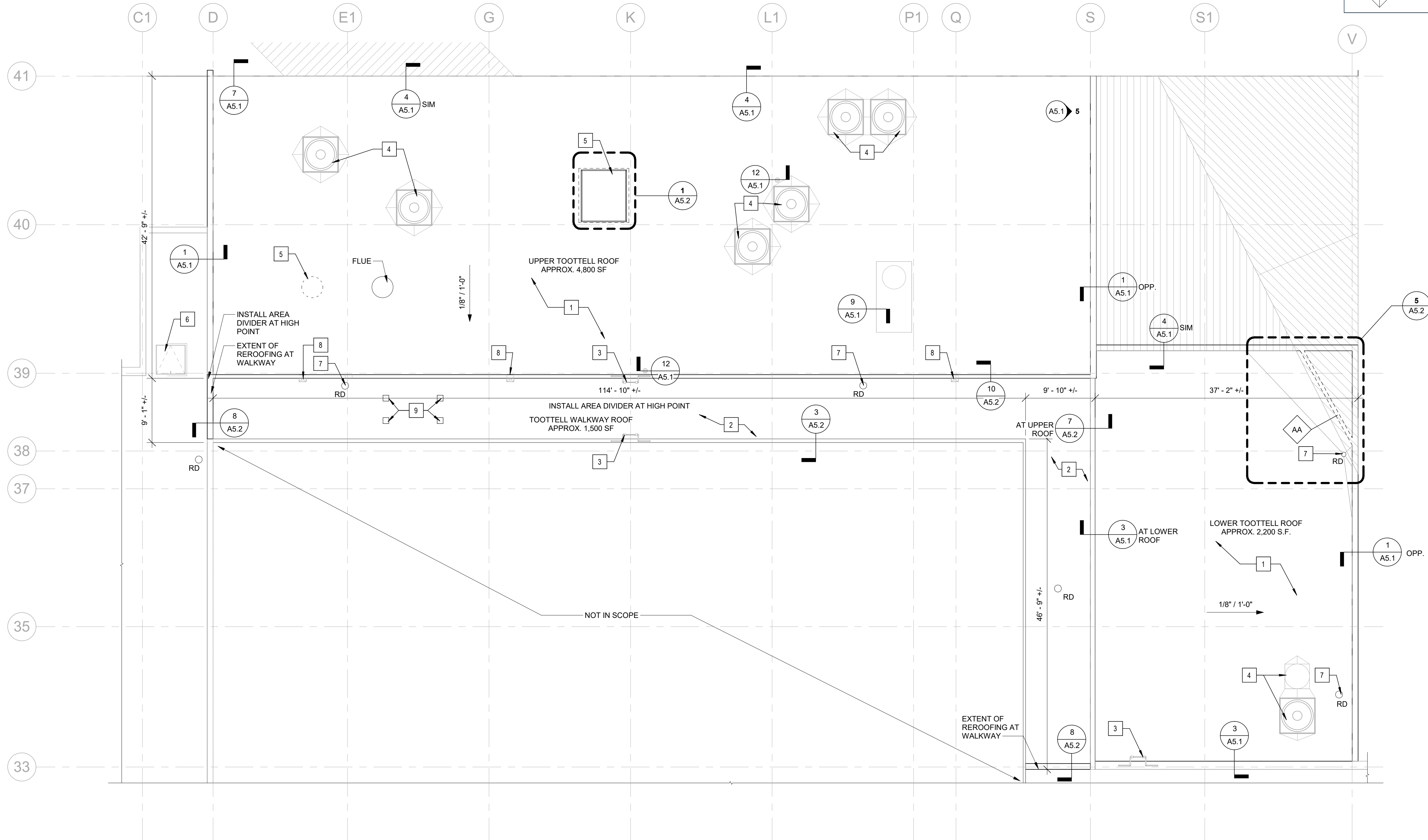


⑤ ROOF INFILL DETAIL  
1 1/2" = 1'-0"

ROOF PLAN KEYNOTES	
KEYNOTE NUMBER	KEYNOTE
1	REROOF ENTIRELY WITH MODIFIED BITUMEN SYSTEM, SEE DETAIL 3/A1.1. SEE SHEETS A5.1 / A5.2 FOR DETAILS.
2	ALTERNATE #1 - REROOF ENTIRELY WITH KEE ROOFING SYSTEM, SEE DETAIL 4/A1.1. SEE SHEETS A5.1 / A5.2 FOR DETAILS.
3	PAINT EXISTING LADDER TO REMAIN.
4	MECH. CURB, SEE DETAIL 10/A5.1 FOR MORE INFORMATION.
5	INFILL AFTER DEMOLITION. SEE DETAILS ON SHEET A5.2.
6	REMOVE AND FLIP EXISTING LADDER. REATTACH TO ENSURE LADDER REACHES THE TOP OF THE ROOF HATCH. ADD POST-UP AND PAINT.
7	PROVIDE ROOF DRAIN, SEE DETAIL 4/A5.2 FOR CONNECTOR ROOF AND SEE DETAIL 11/A5.1 FOR LOWER ROOF.
8	PROVIDE THROUGH-WALL SCUPPER, SEE DETAIL 6/A5.1.
9	PATCH AND REPAIR WHERE STRUCTURAL DUNNAGE WAS CUT/REMOVED. REROOF OVER PATCHED AREA.

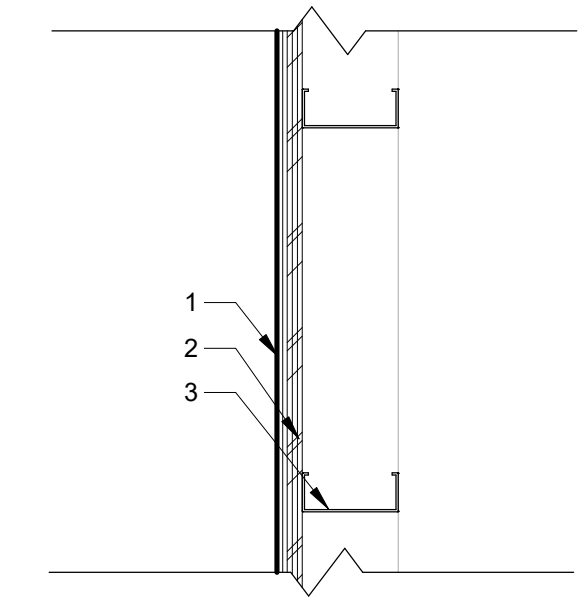
  

ROOF LEGEND	
	FLUE OR ROOF DRAIN
	1/8" / 1'-0" DIRECTION OF ROOF SLOPE & PITCH
	SCUPPER
	TAPERED CRICKETS



01 - Building Key Plan  
1" = 100'-0"

**EXTERIOR WALL TYPE**



**TYPICAL WALL TYPE "AA" PLAN**  
EXTERIOR WALL FINISH - ROOFING MEMBRANE AND METAL STUD BACKUP  
LOCATED AT UNDERSIDE OF RYAN CENTER WALL OVER TOOTELL ROOF.  
THE STRUCTURE OF THE EXTERIOR WALL TYPE SHALL BE 5/8" EXTERIOR SHEATHING WITH 4" METAL STUDS.  
1. ROOFING SYSTEM  
2. 5/8" FIRE RETARDANT PLYWOOD  
3. 4" 20GA METAL FRAMING 16" O.C.

① ROOF PLAN  
1/8" = 1'-0"

② Wall Type  
1 1/2" = 1'-0"

**REROOFING AT**  
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SHEET TITLE  
**ROOF PLAN, WALL & ROOF TYPES**

SHEET  
**A1.1**

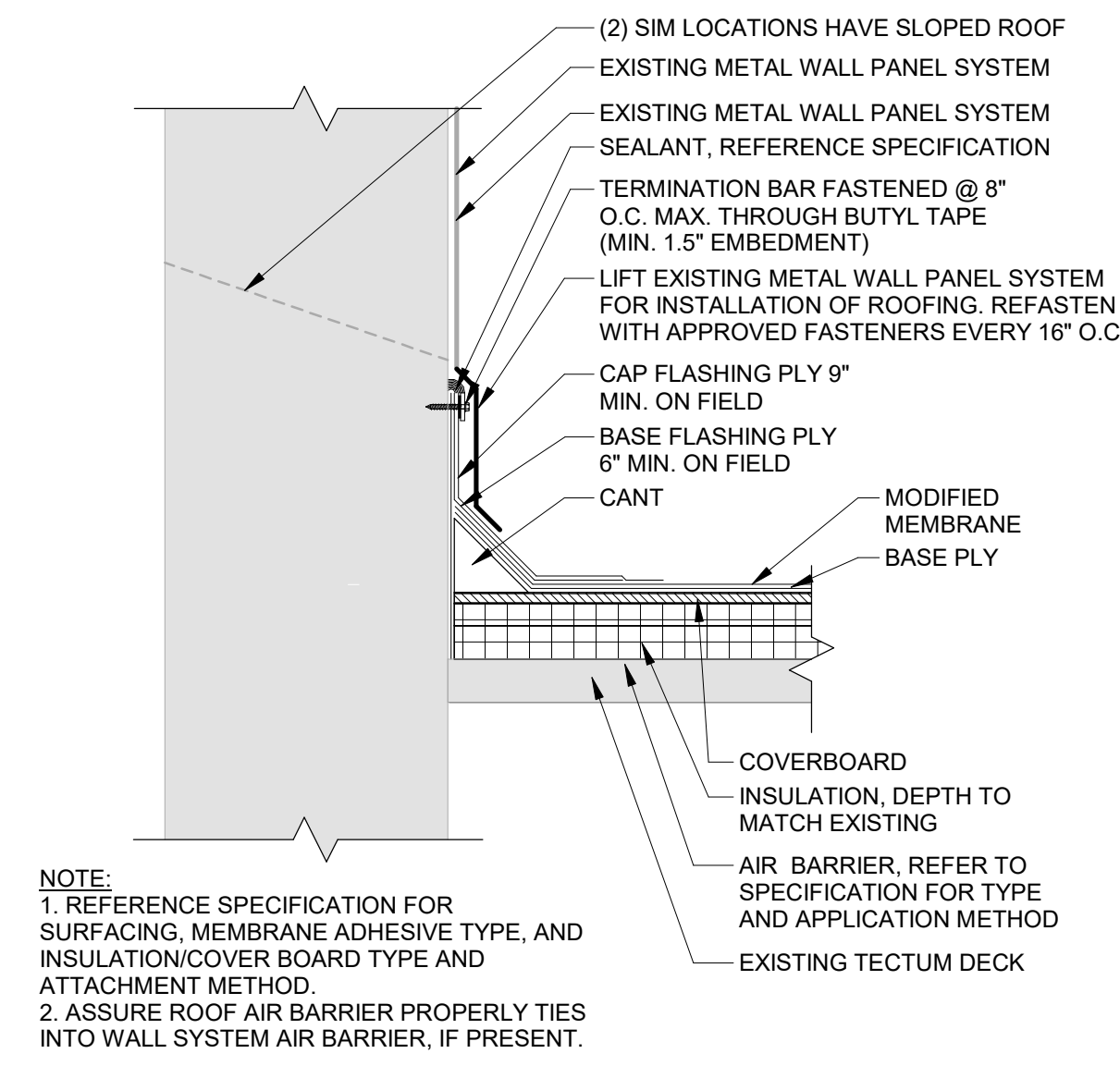




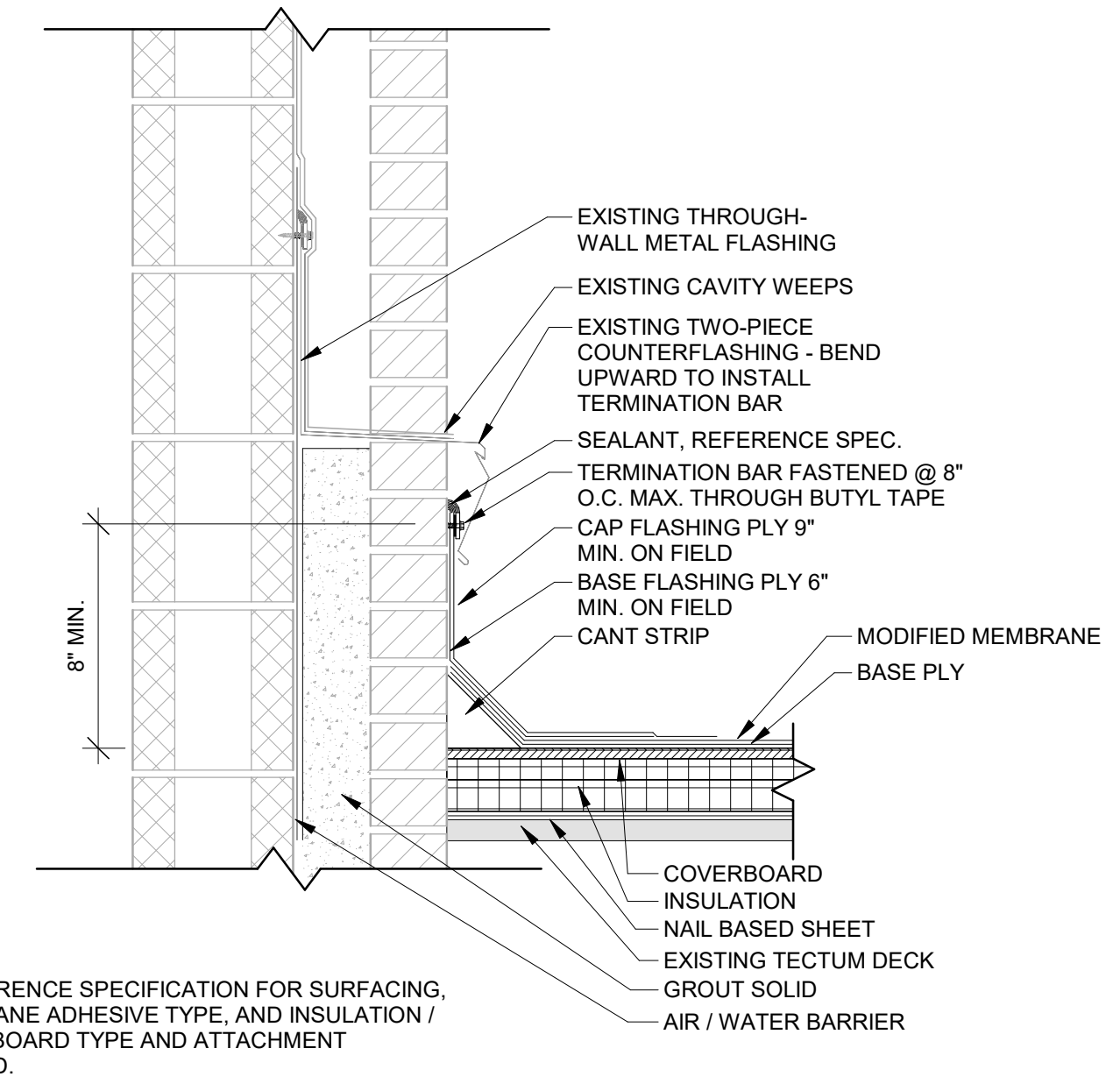
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SHEET TITLE  
**ROOF DETAILS**

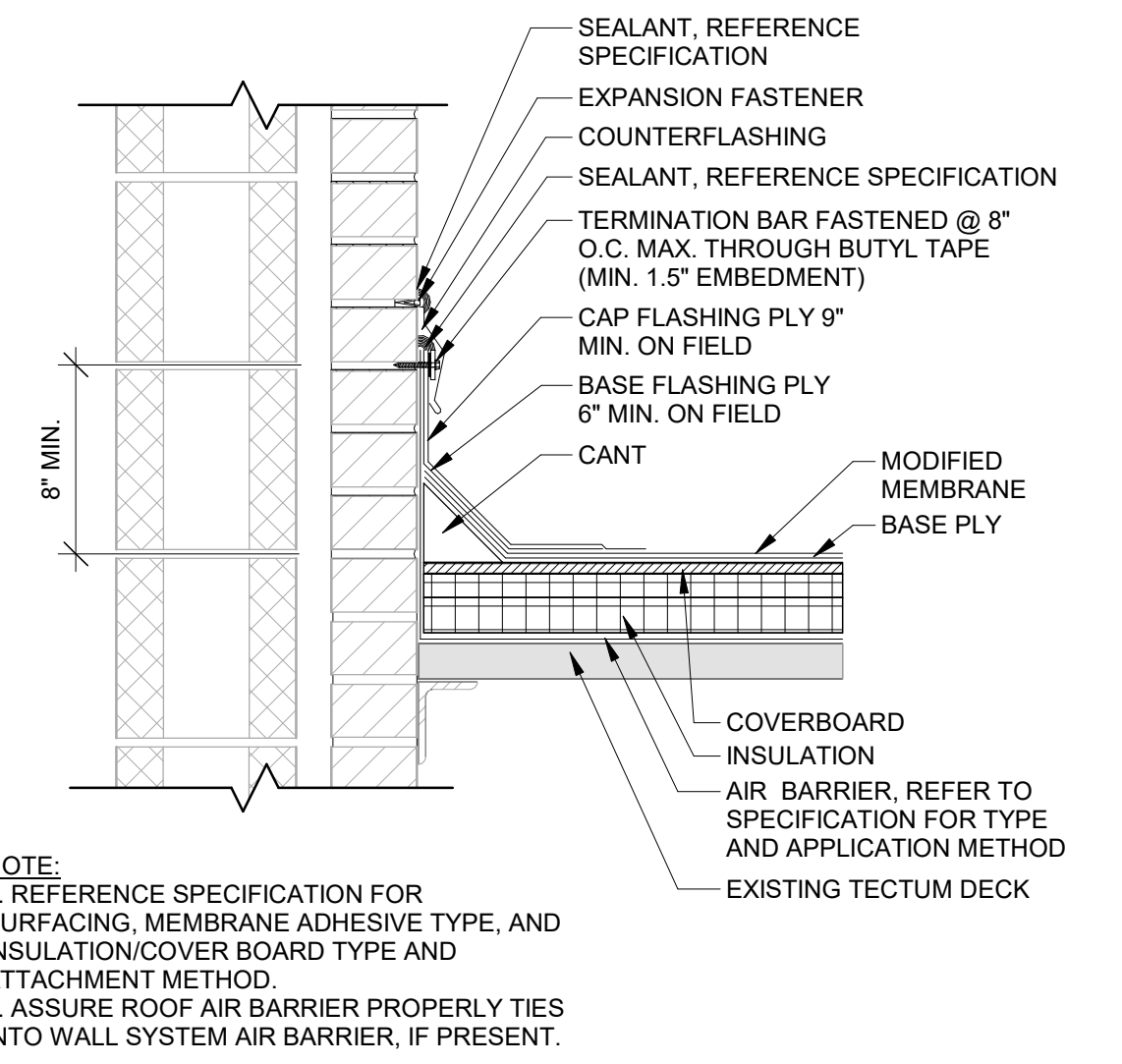
SHEET  
**A5.1**



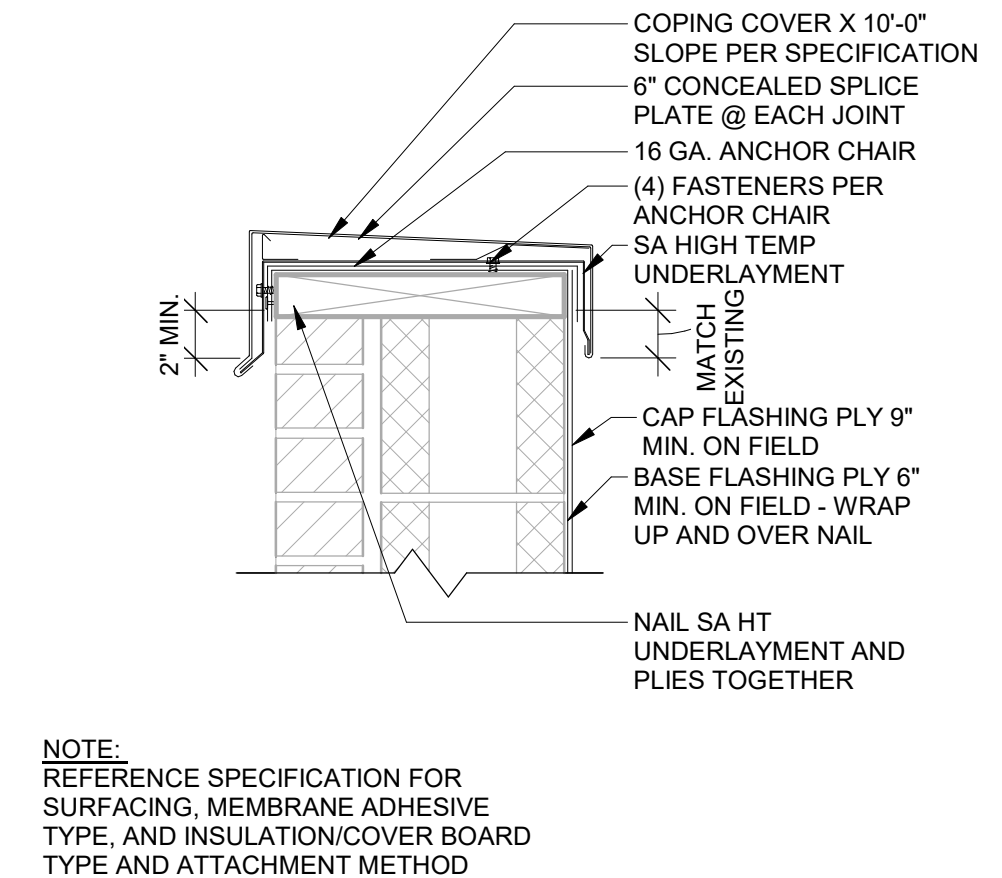
④ TRANSITION TO METAL ROOF  
1 1/2" = 1'-0"



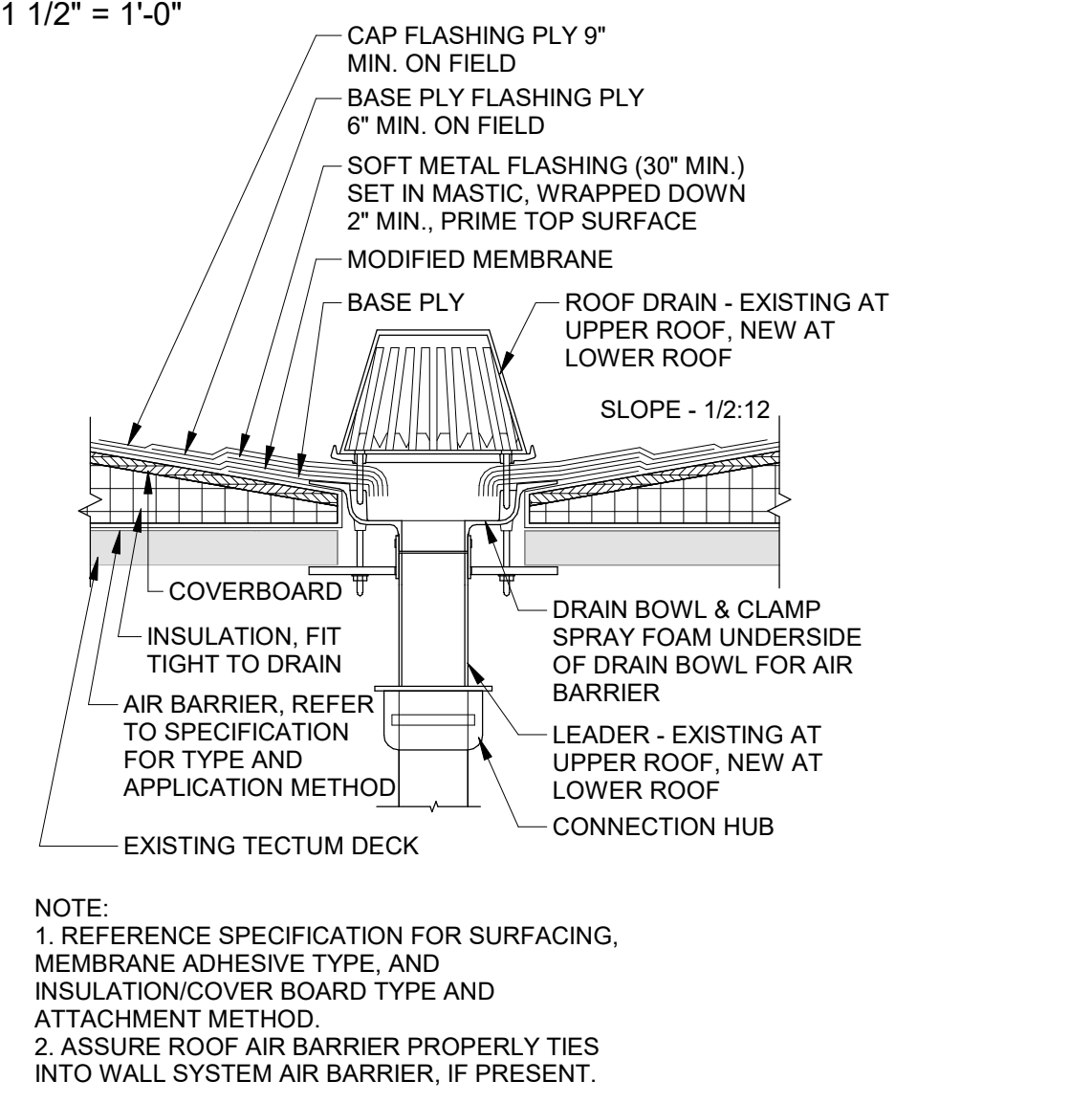
③ THROUGH WALL REGLET FLASHING  
1 1/2" = 1'-0"



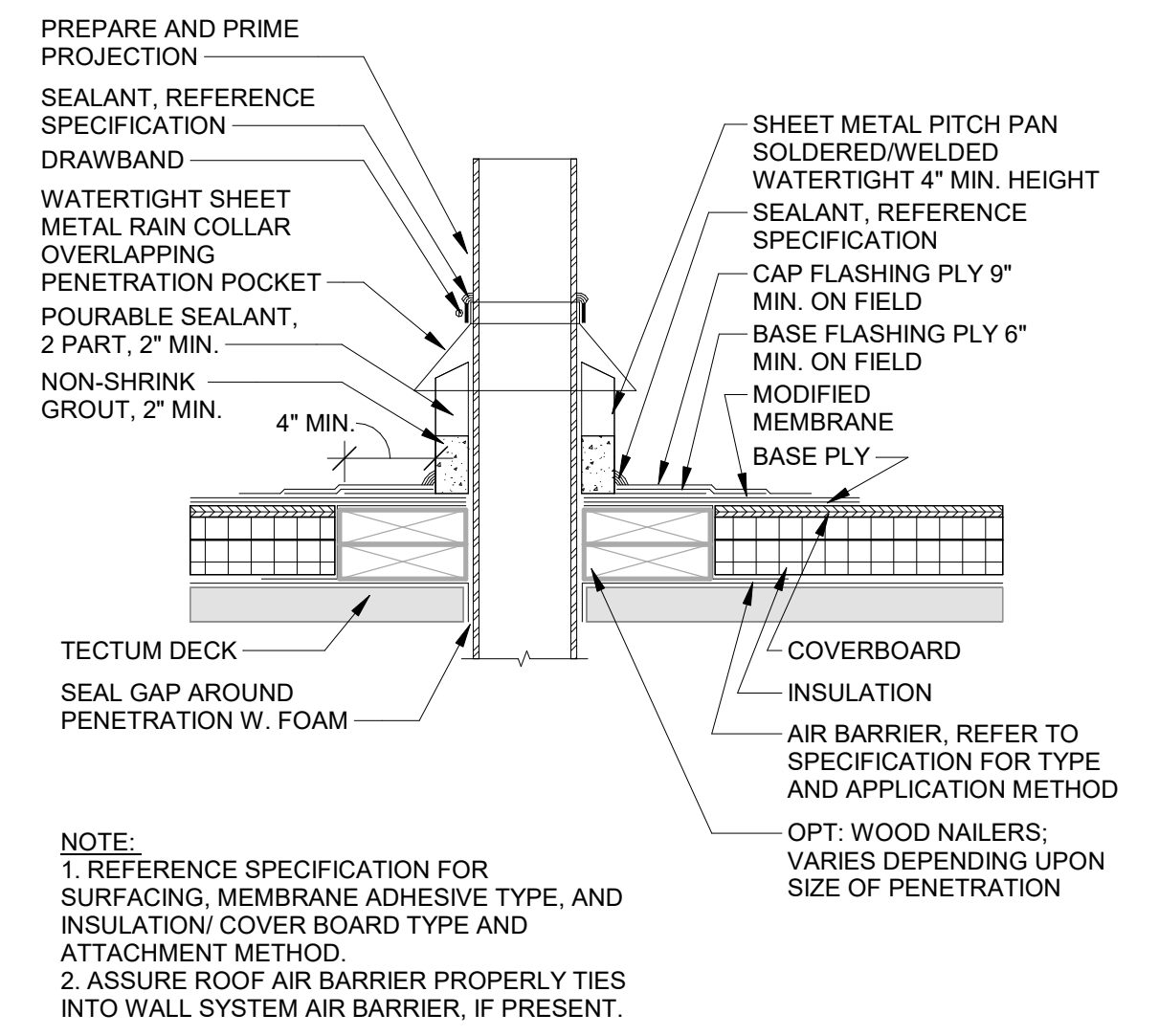
⑦ FLASHING REGLET  
1 1/2" = 1'-0"



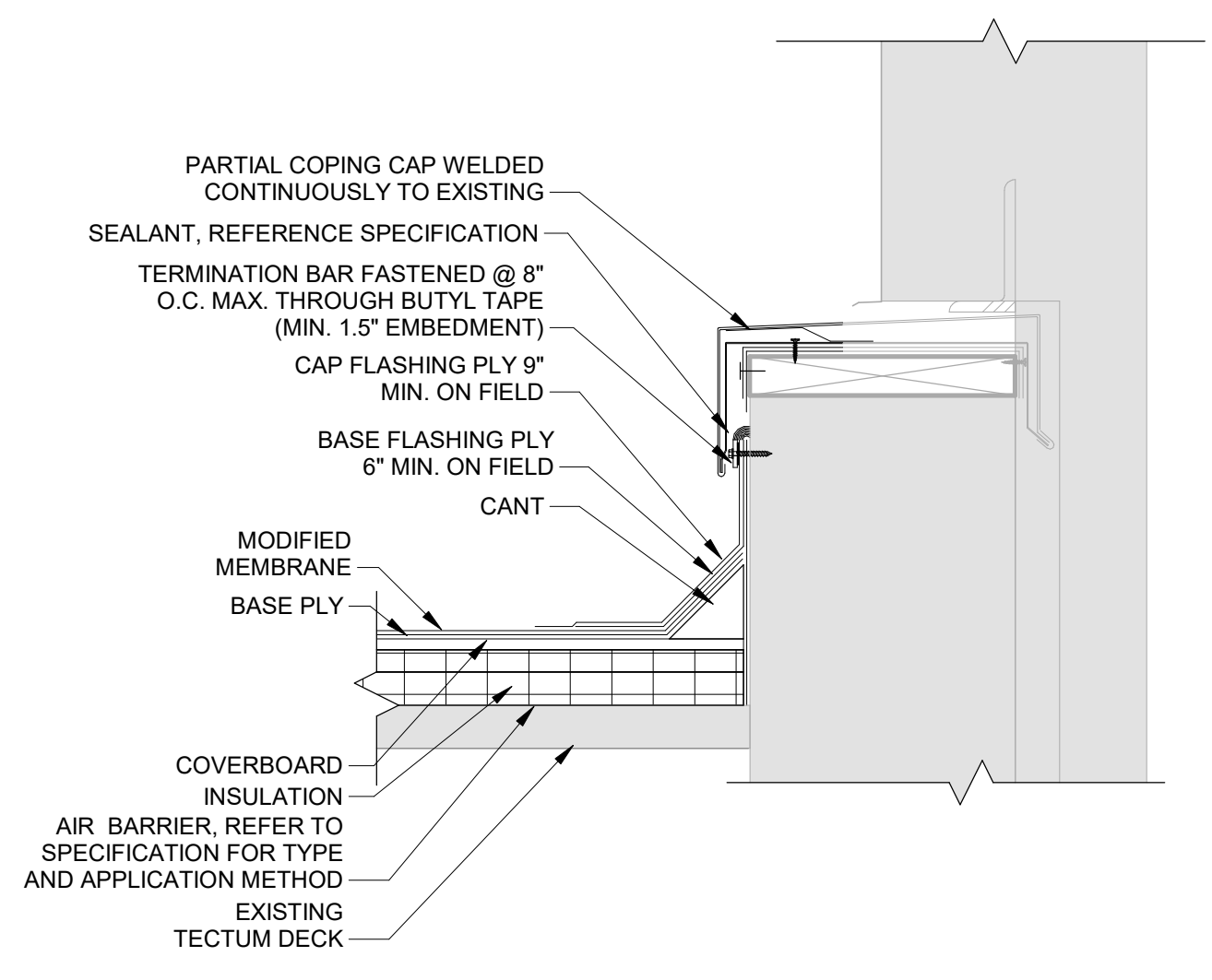
⑧ COPING AT MASONRY ROOF  
1 1/2" = 1'-0"



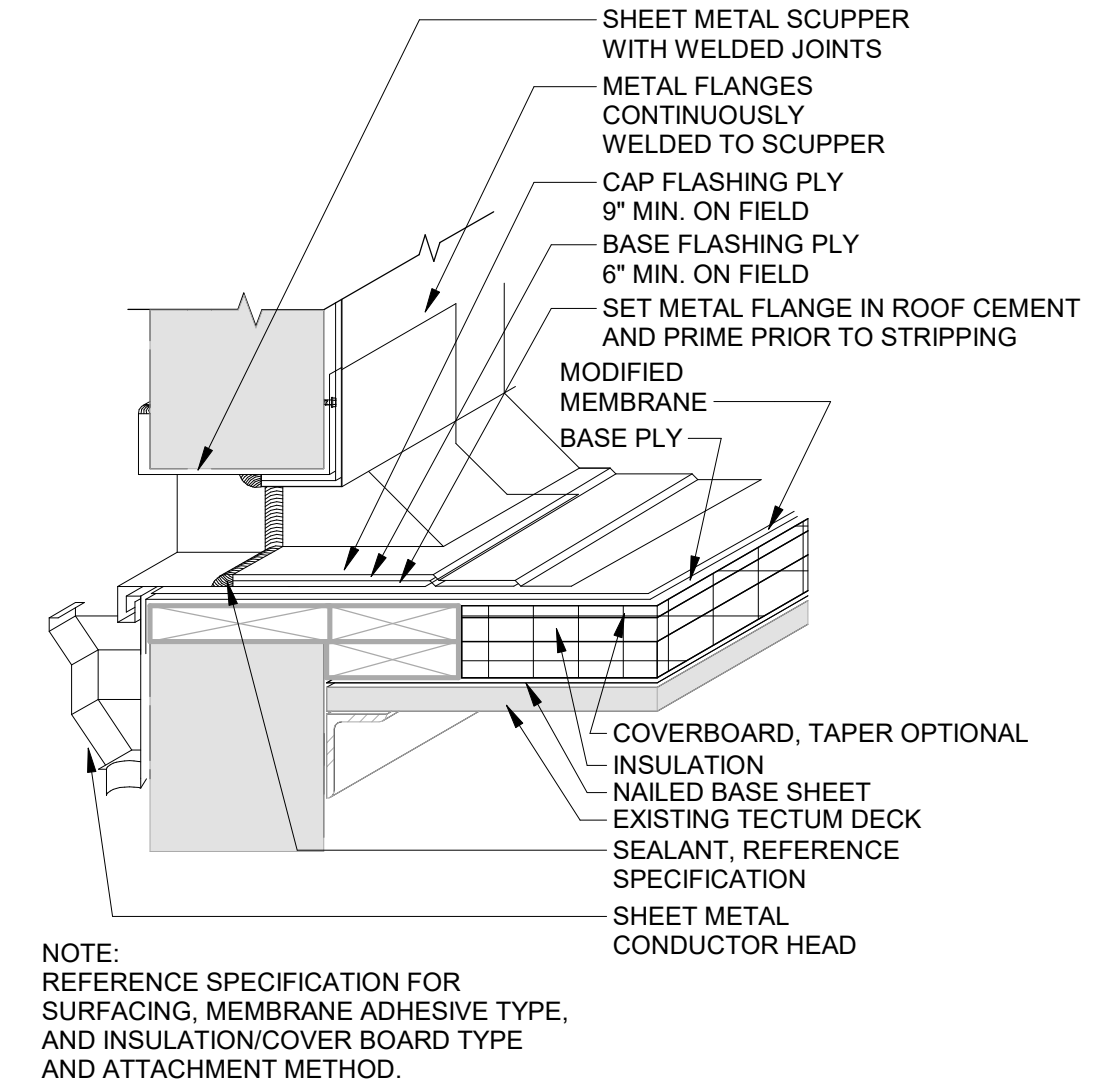
⑪ TYPICAL ROOF DRAIN AT MEMBRANE ROOF  
1 1/2" = 1'-0"



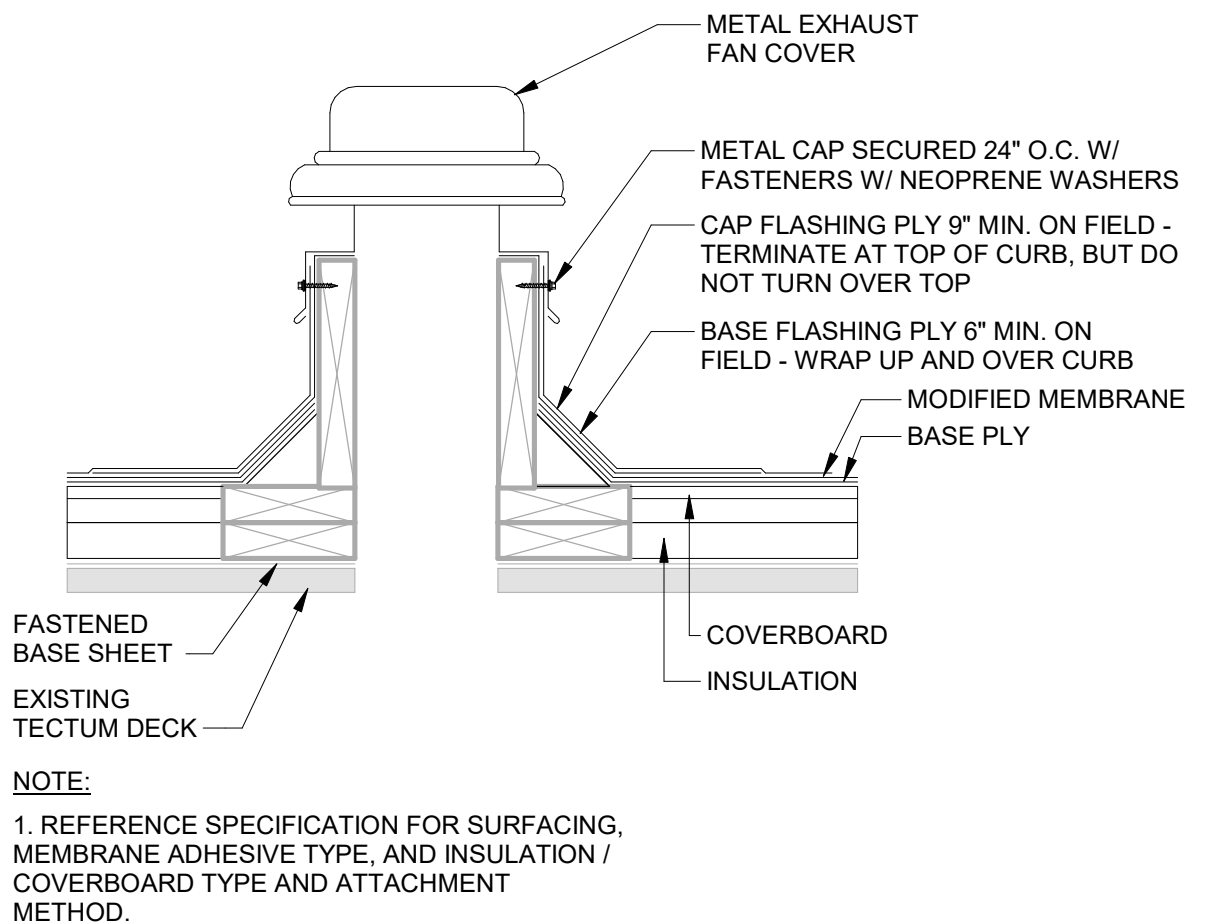
⑫ PITCHPOCKET PIPE DETAIL  
1 1/2" = 1'-0"



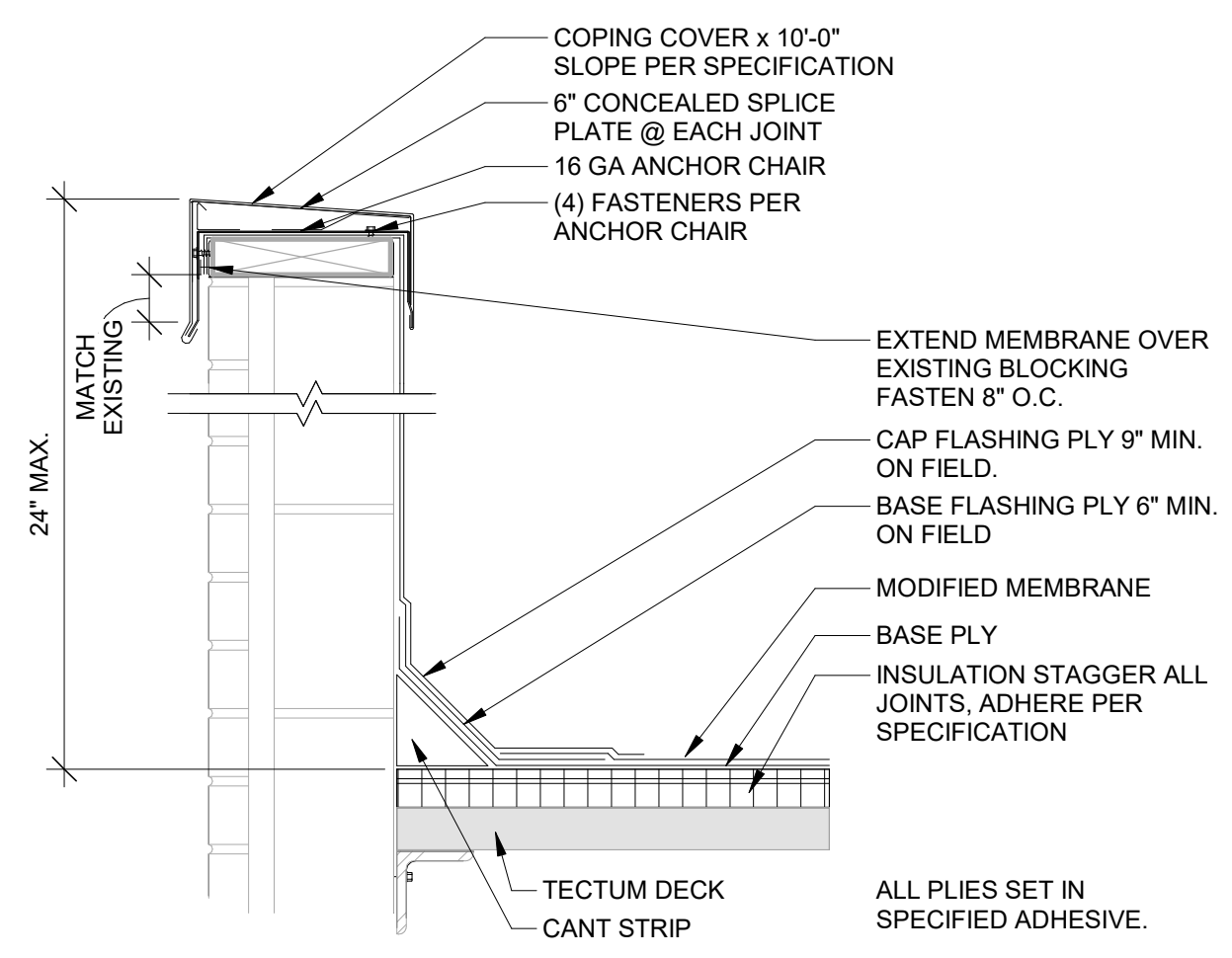
② LOWER ROOF COPING CONDITION  
1 1/2" = 1'-0"



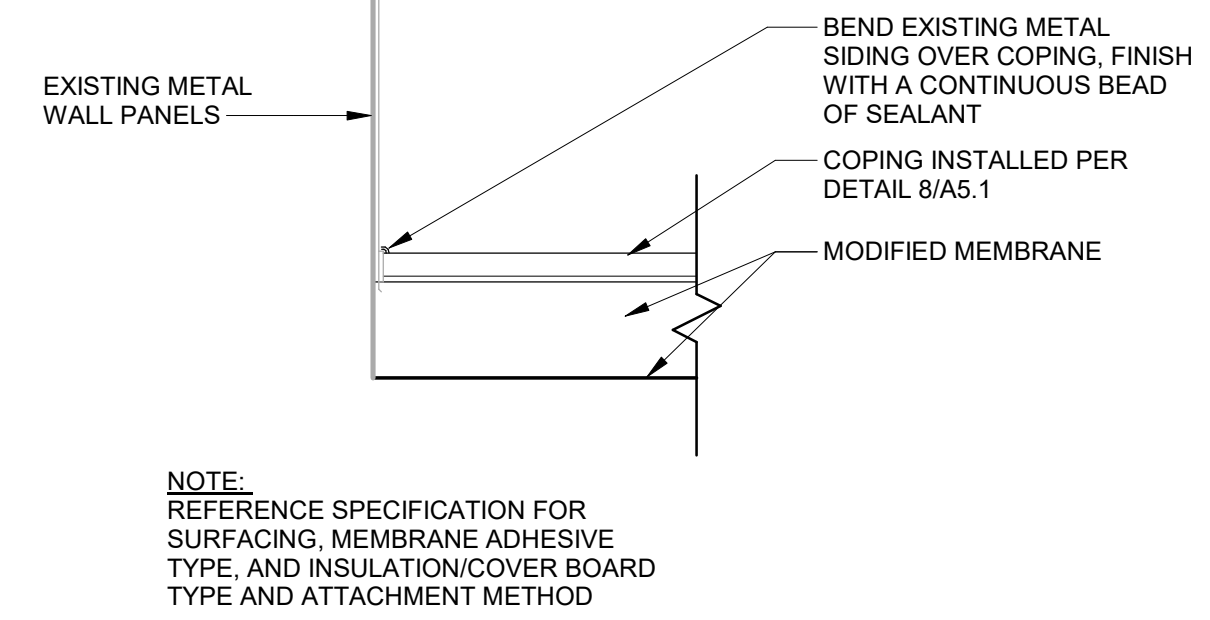
⑥ SCUPPER THROUGHWALL  
1 1/2" = 1'-0"



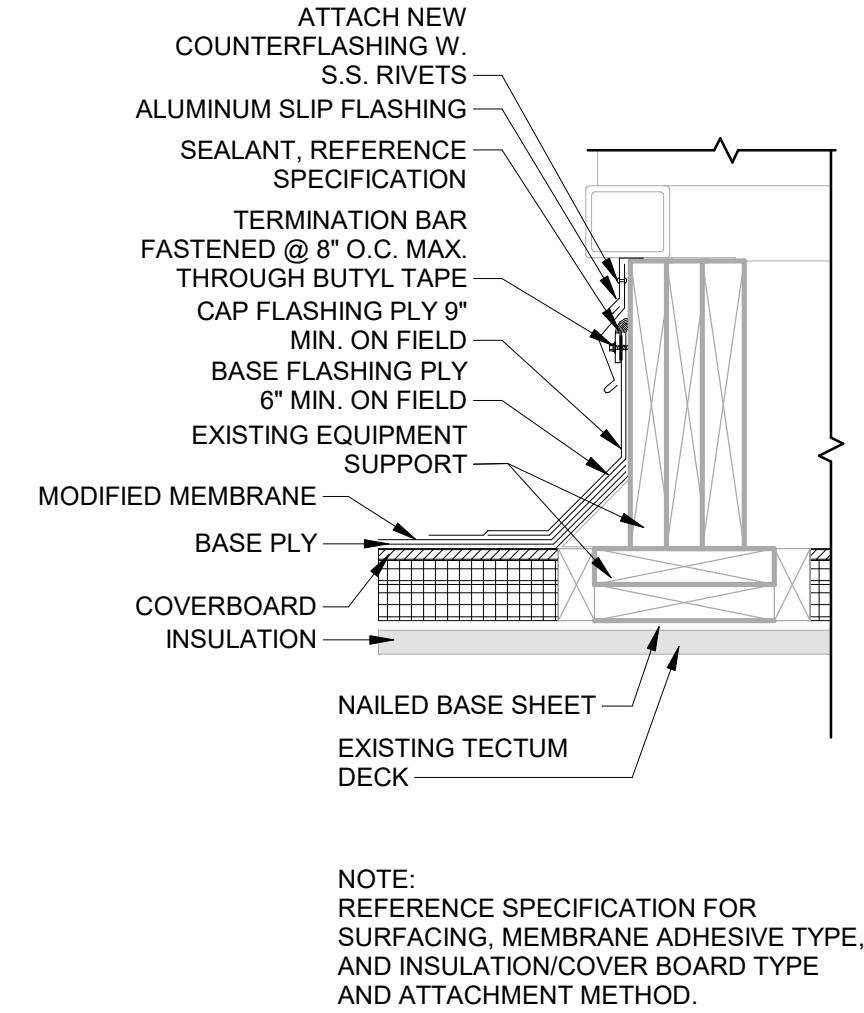
⑩ EXHAUST FAN  
1 1/2" = 1'-0"



① TYPICAL MOD BIT ROOF EDGE DETAIL  
1 1/2" = 1'-0"

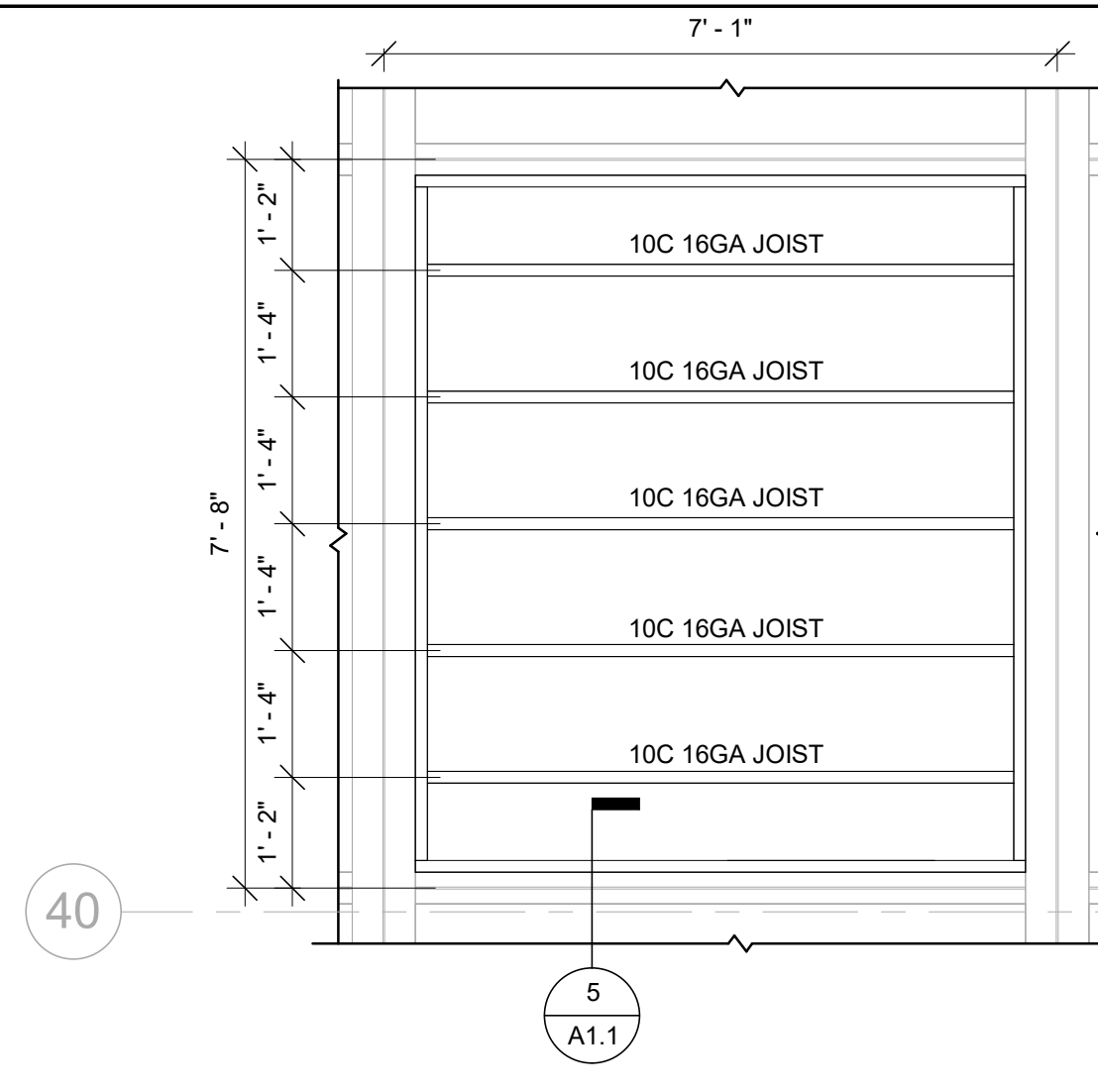


⑤ SPECIAL COPING CONDITION  
1 1/2" = 1'-0"

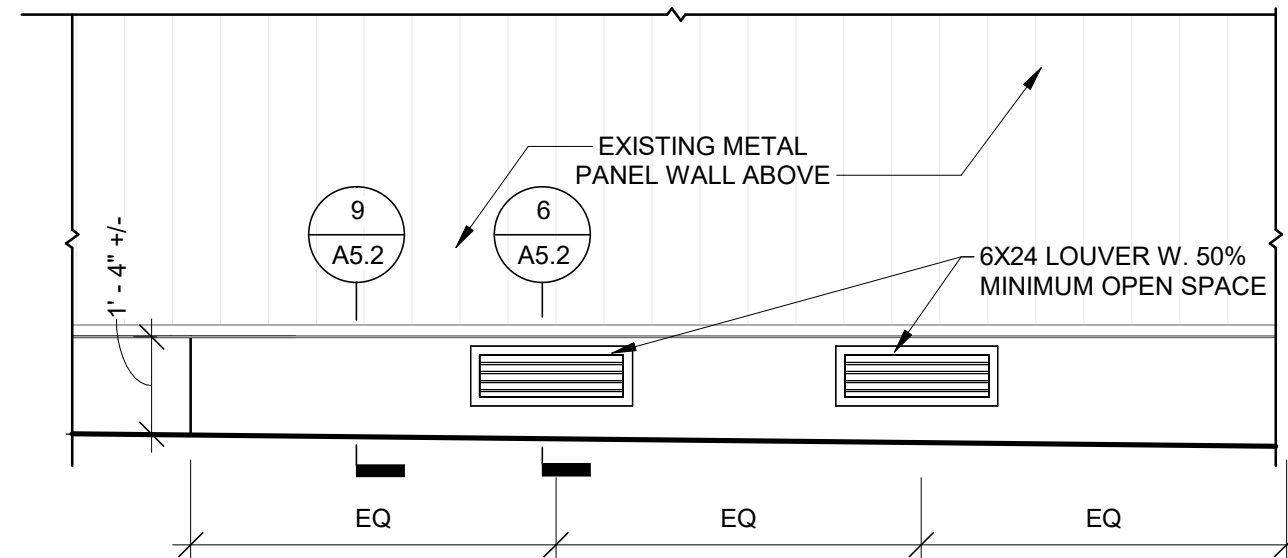


⑨ EQUIPMENT SUPPORT AT EXISTING  
1 1/2" = 1'-0"

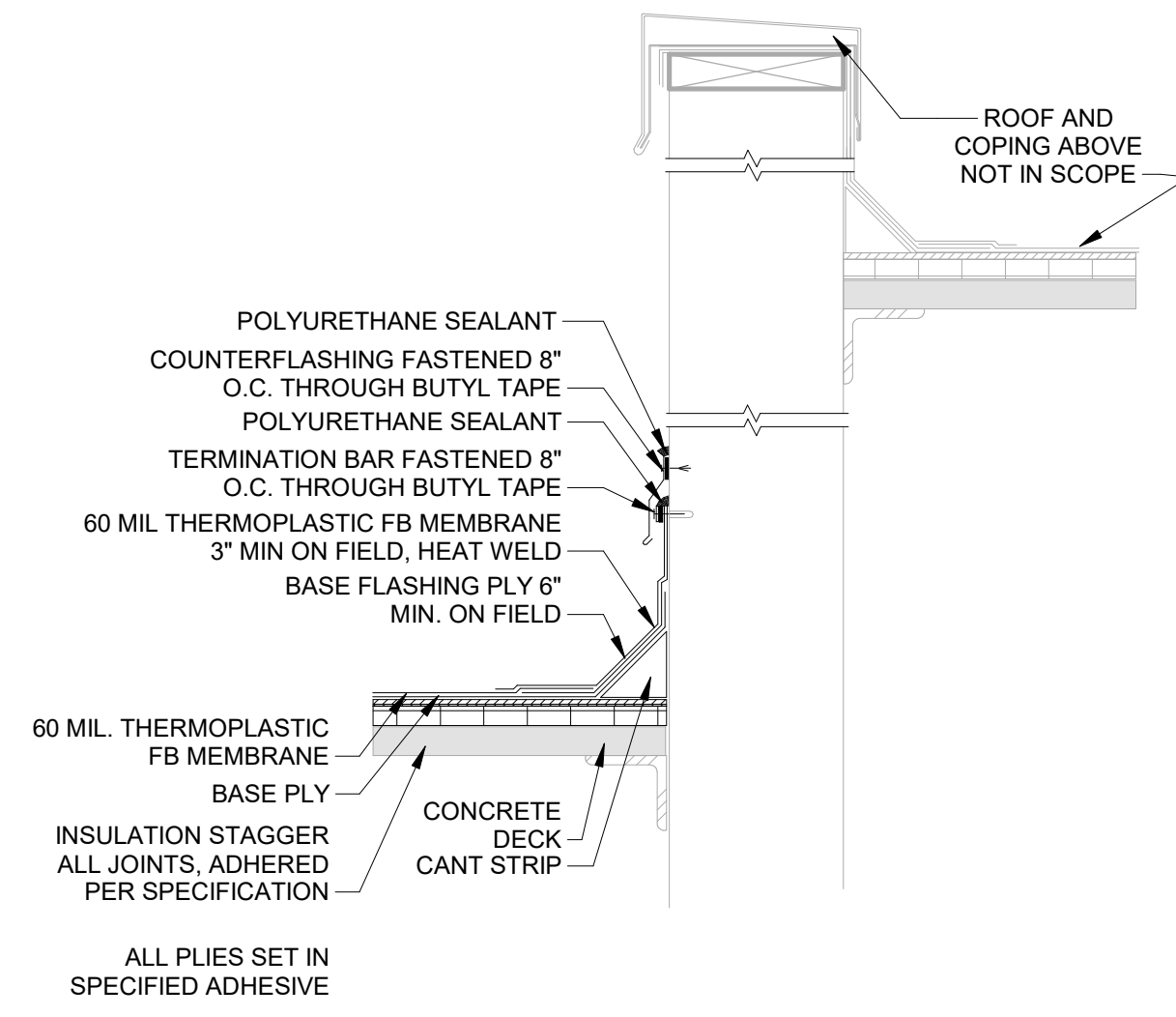




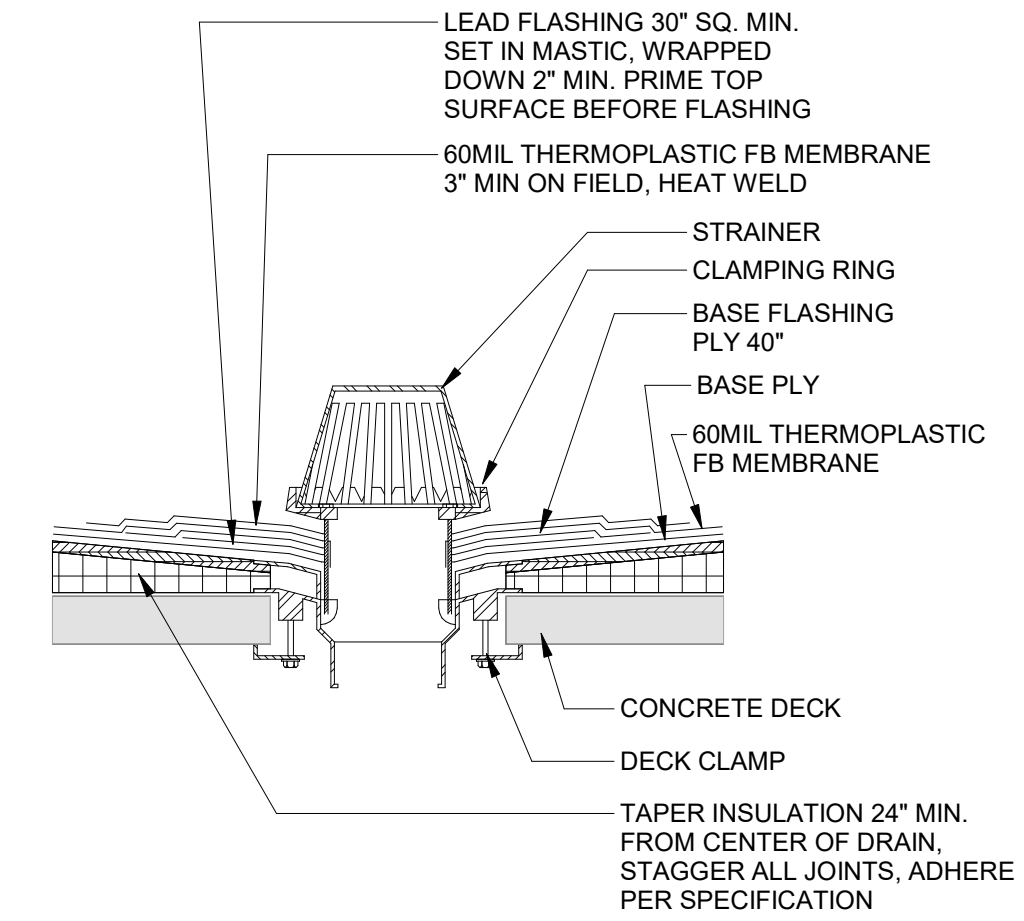
1 ROOF HATCH FRAMING PLAN  
1/2" = 1'-0"



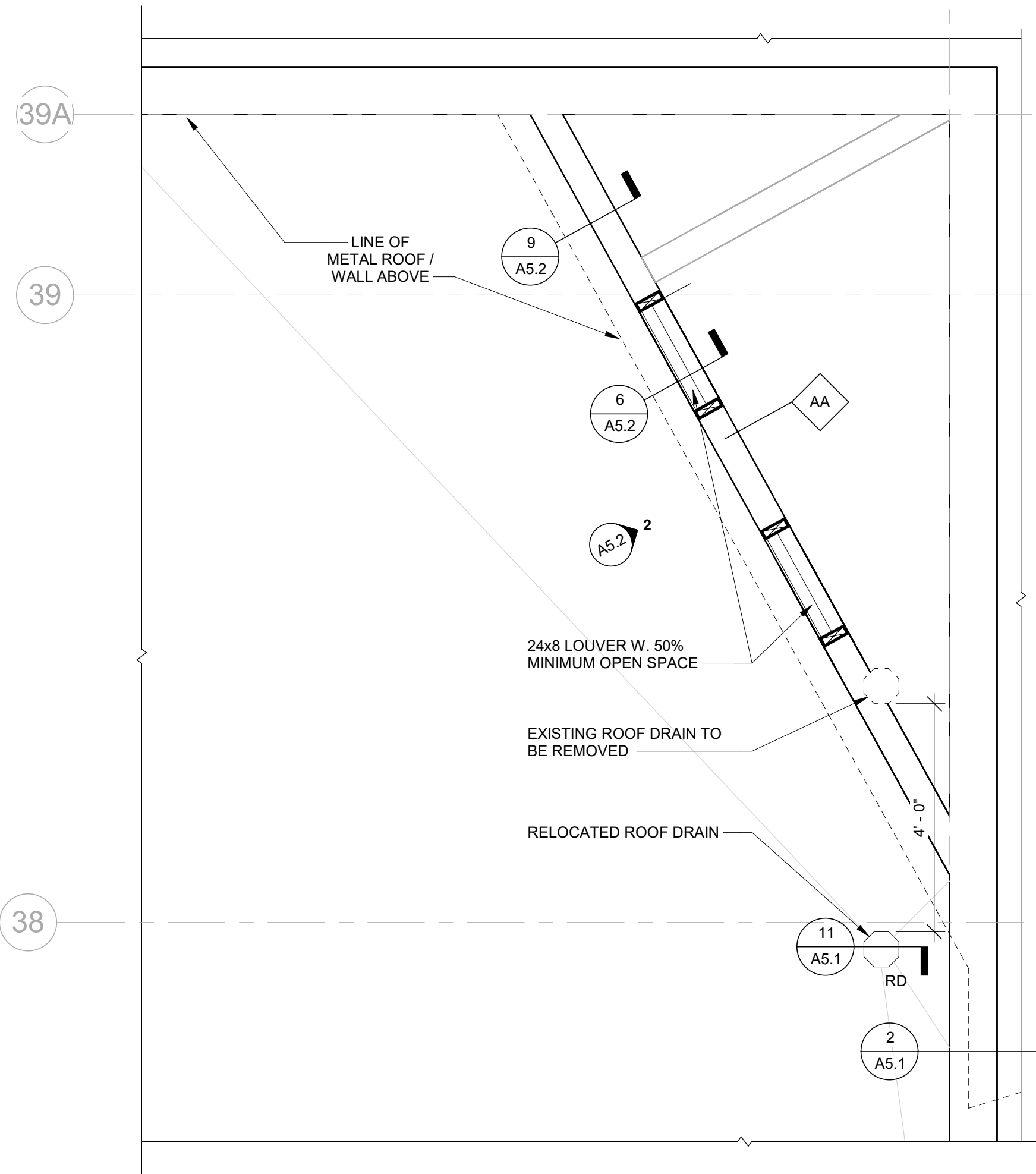
2 WALL AT LOWER ROOF ELEVATION  
3/8" = 1'-0"



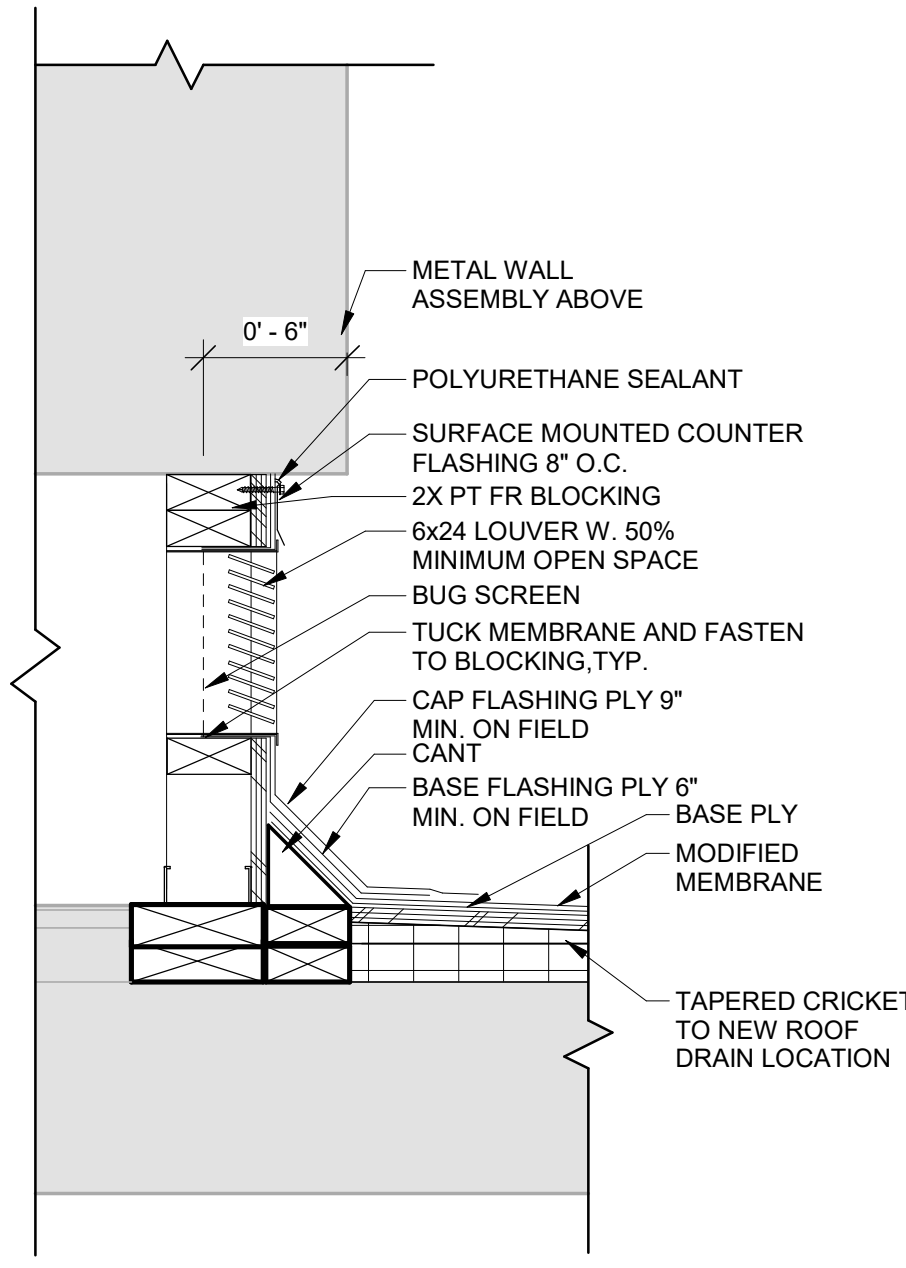
3 KEE COUNTERFLASHING TO UPPER ROOF  
1 1/2" = 1'-0"



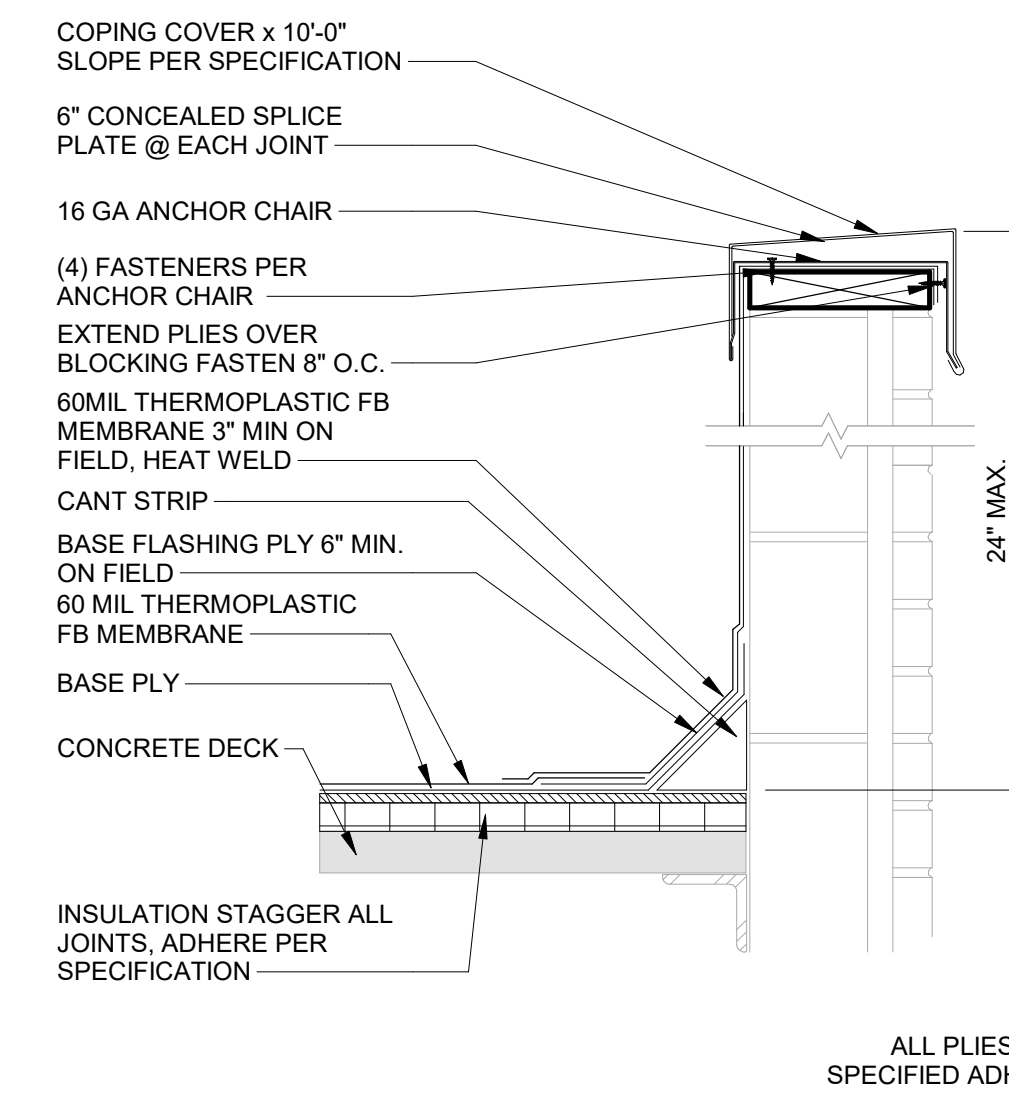
4 ROOF DRAIN AT KEE  
1 1/2" = 1'-0"



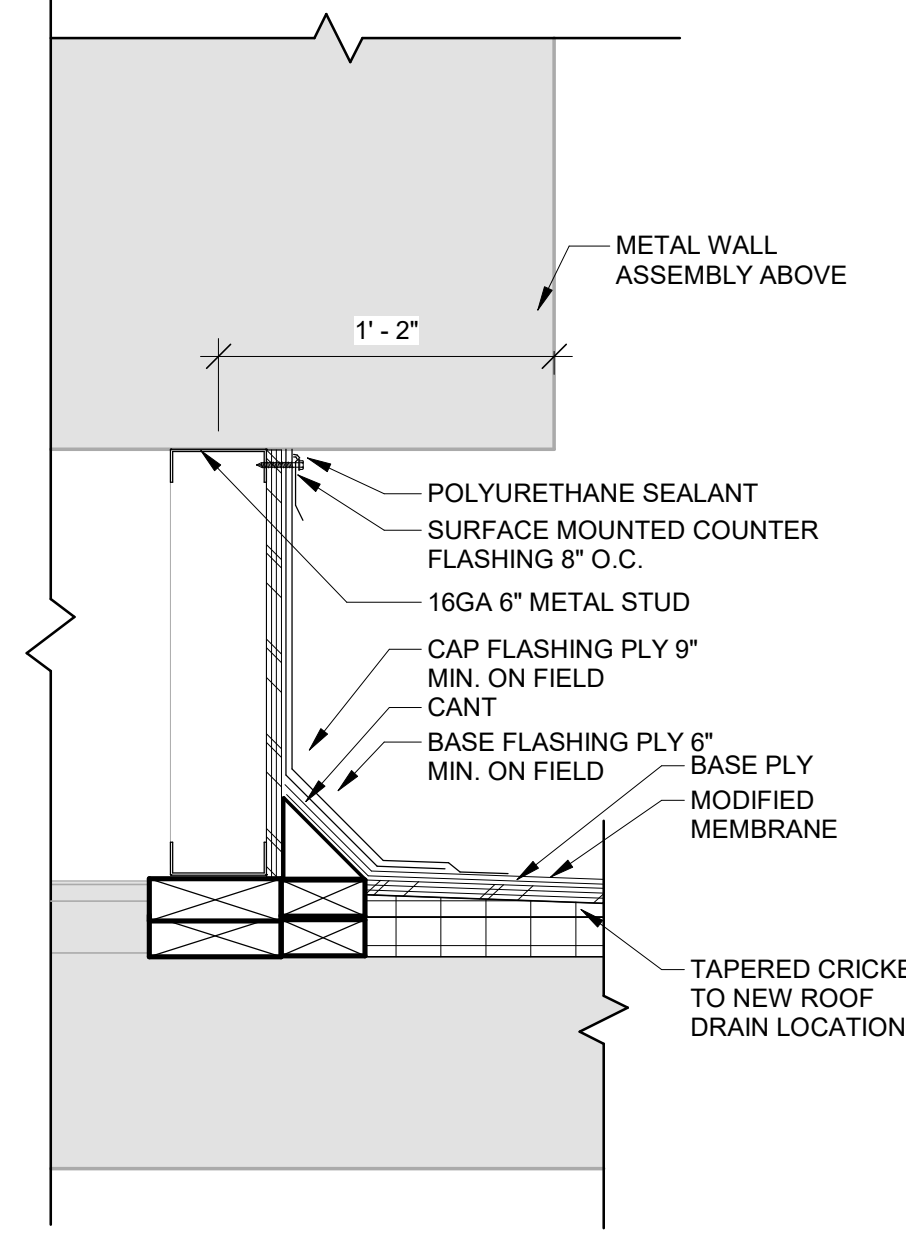
5 ENLARGED LOWER ROOF  
1/2" = 1'-0"



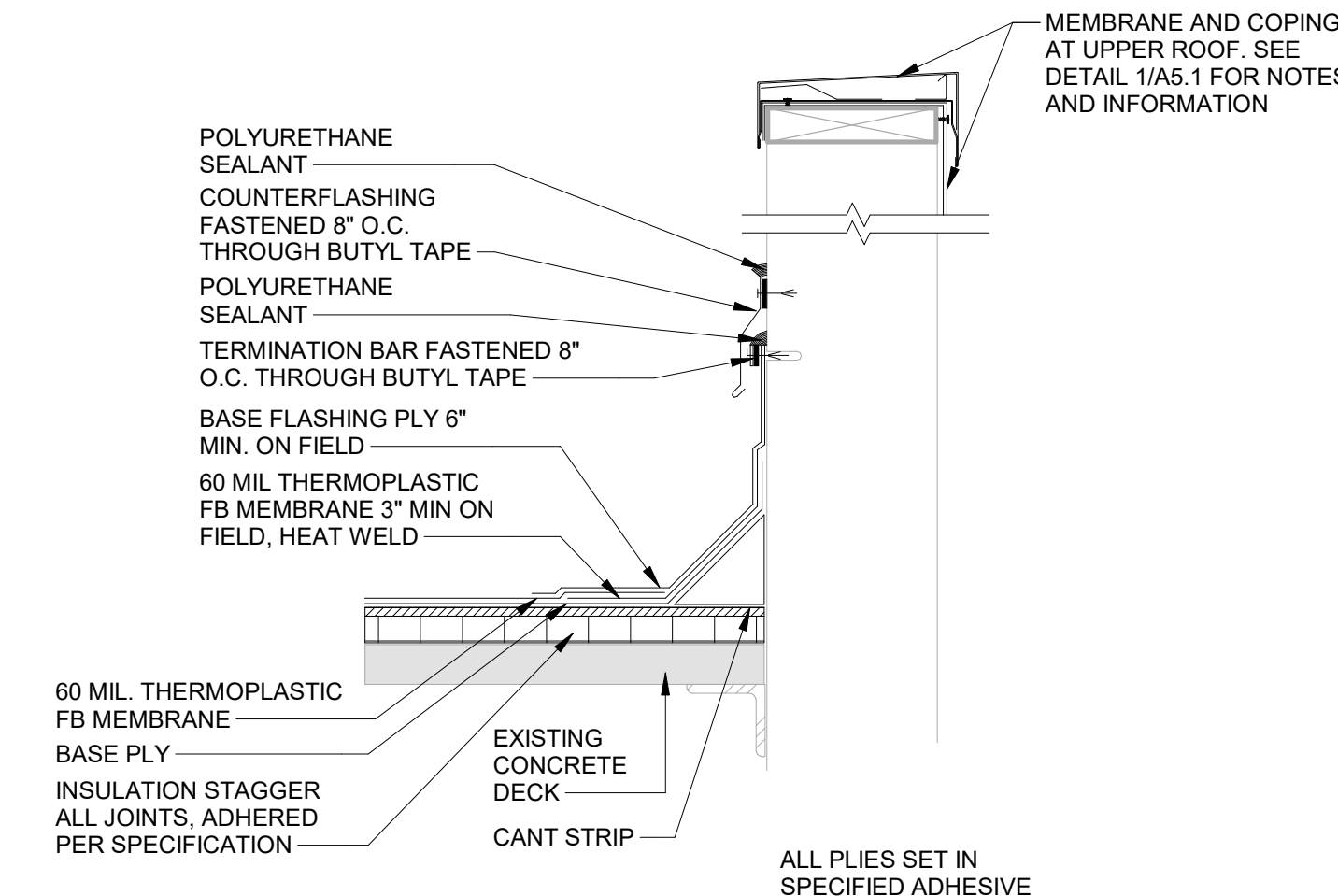
6 LOUVRE DETAIL - INFILL AT TOOTTELL OVERHANG  
1 1/2" = 1'-0"



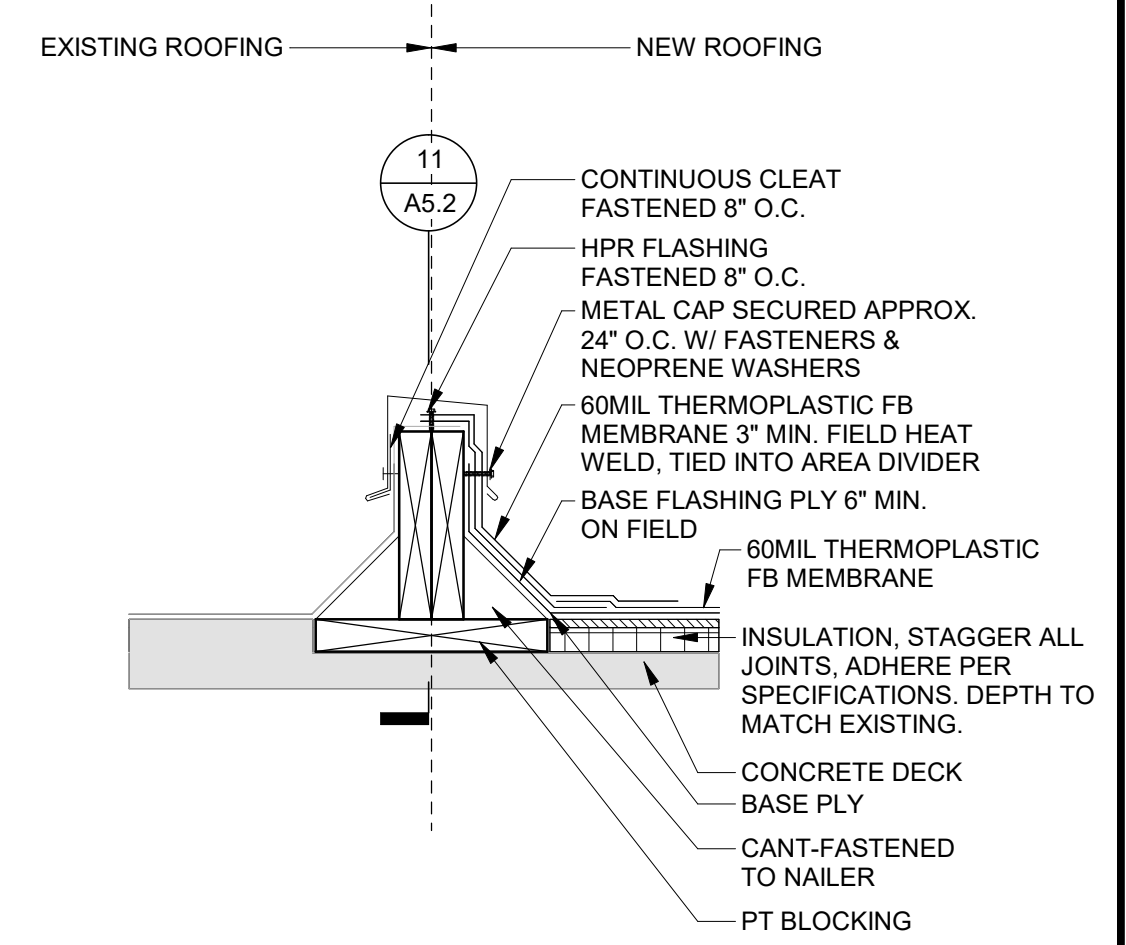
7 KEE COPING OVERLOOKING LOW ROOF  
1 1/2" = 1'-0"



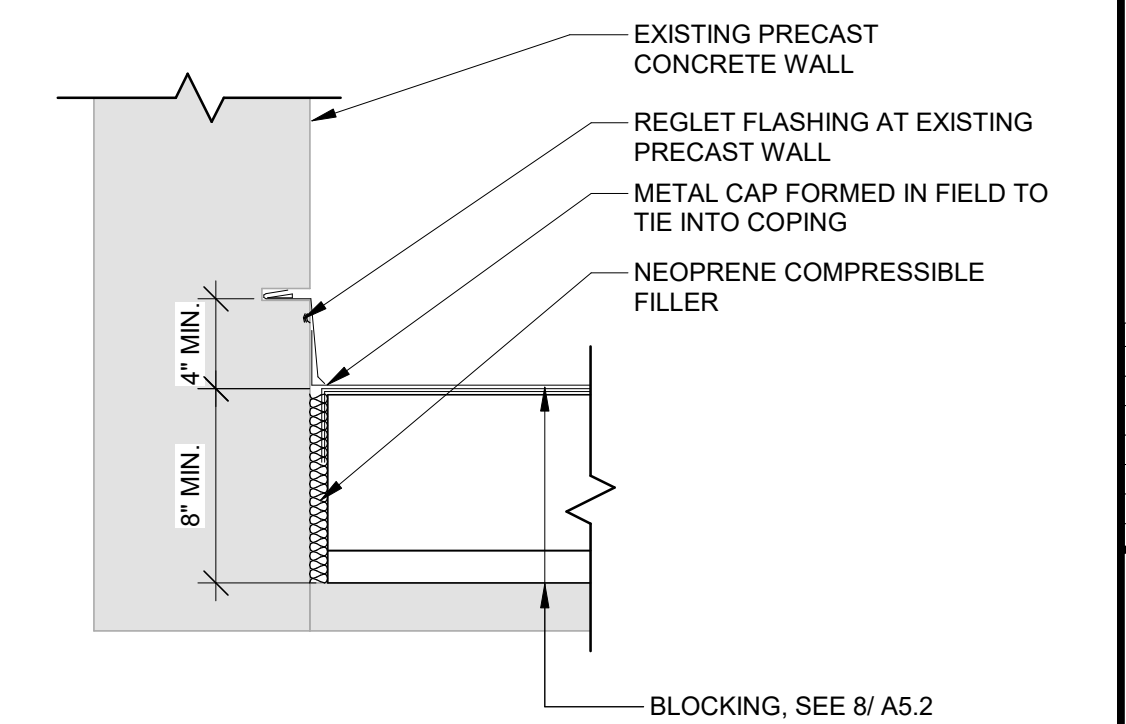
9 WALL SECTION - INFILL AT TOOTTELL OVERHANG  
1 1/2" = 1'-0"



10 KEE COUNTER FLASHING  
1 1/2" = 1'-0"



8 AREA DIVIDER KEE  
1 1/2" = 1'-0"



11 AREA DIVIDER KEE TO EXISTING WALL CONNECTION - TYP. BOTH ENDS  
1 1/2" = 1'-0"

REEROOFING AT  
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SHEET TITLE  
**ROOF DETAILS**

SHEET  
**A5.2**