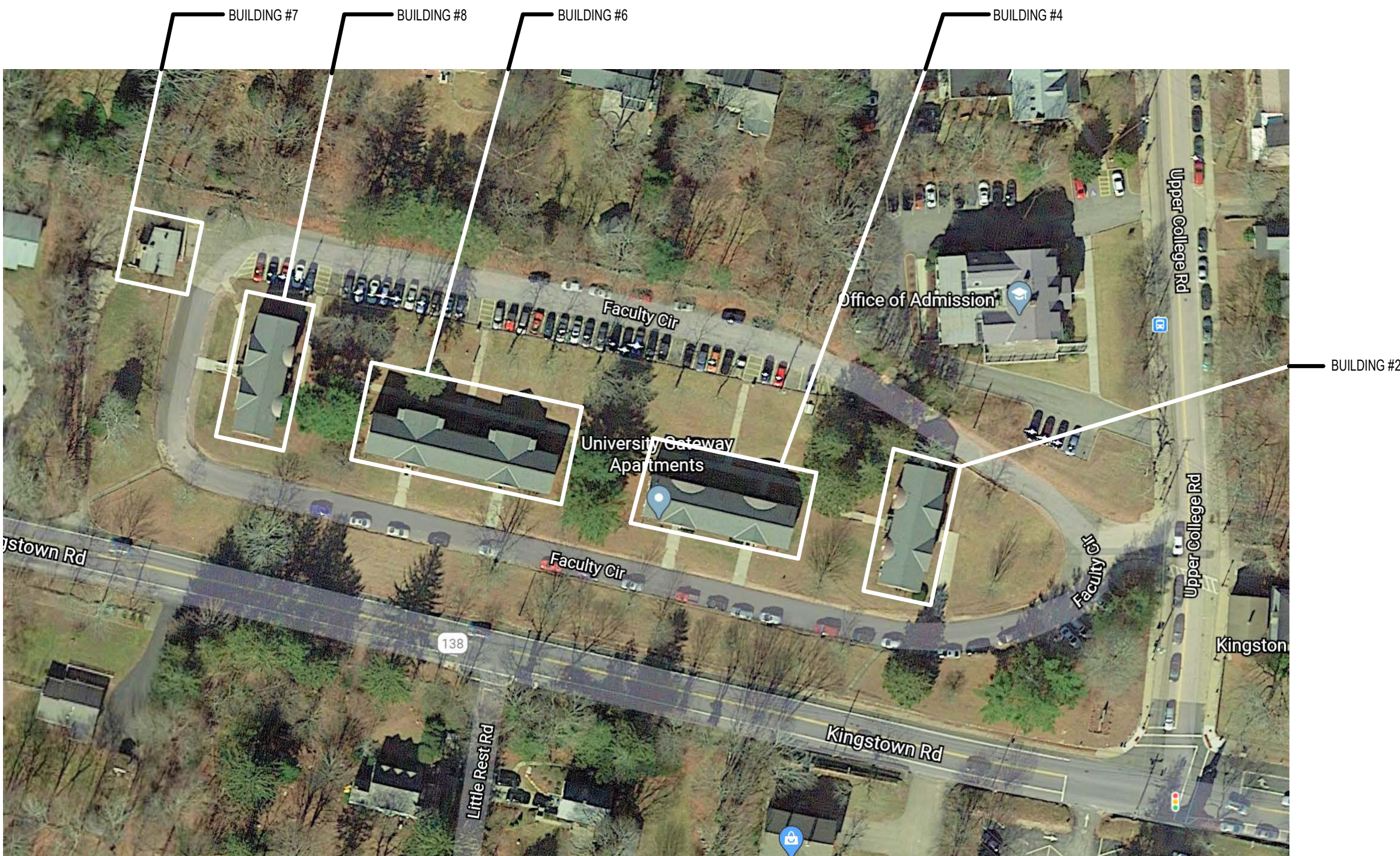


ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

UNIVERSITY OF RHODE ISLAND PROJECT # KC.R.GATE.2020.001



DRAWING LIST	
GENERAL	
G0.0	COVER SHEET
A0.10	GENERAL INFORMATION
DEMOLITION	
D1.02	BUILDING 2 DEMOLITION PLANS AND ELEVATIONS
D1.04	BUILDING 4 DEMOLITION PLANS AND ELEVATIONS
D1.06	BUILDING 6 DEMOLITION PLANS AND ELEVATIONS
D1.07	BUILDING 7 DEMOLITION PLANS AND ELEVATIONS
D1.08	BUILDING 8 DEMOLITION PLANS AND ELEVATIONS
ARCHITECTURAL	
A1.02	BUILDING 2 PLANS AND ELEVATIONS
A1.04	BUILDING 4 PLANS AND ELEVATIONS
A1.06	BUILDING 6 PLANS AND ELEVATIONS
A1.07	BUILDING 7 PLANS, ELEVATIONS & DETAILS
A1.08	BUILDING 8 PLANS AND ELEVATIONS
A5.01	SECTIONS AND DETAILS
A5.02	ROOF DETAILS



Client/ Contractor
UNIVERSITY OF RHODE ISLAND
KINGSTON, RI. 02881

Project
ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

Seals
CONSTRUCTION DOCUMENTS

Issues / Revisions		
No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

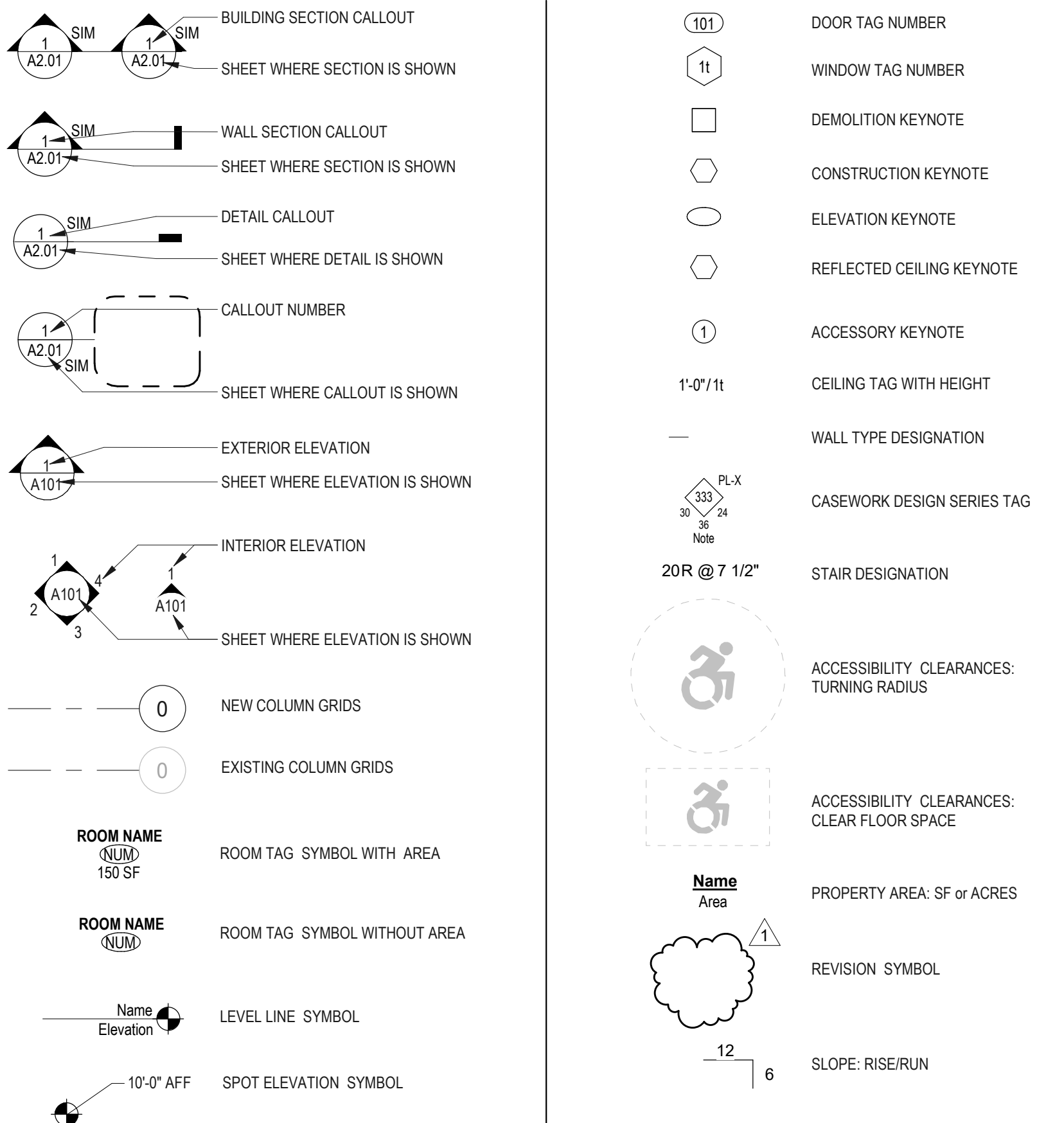
Drawing Title
GENERAL INFORMATION

Project Manager:	MT	Project No:	URI-48-IN
Project Architect:	JB	Production Leader:	JB
Project Designer:		Peer Reviewer:	RA

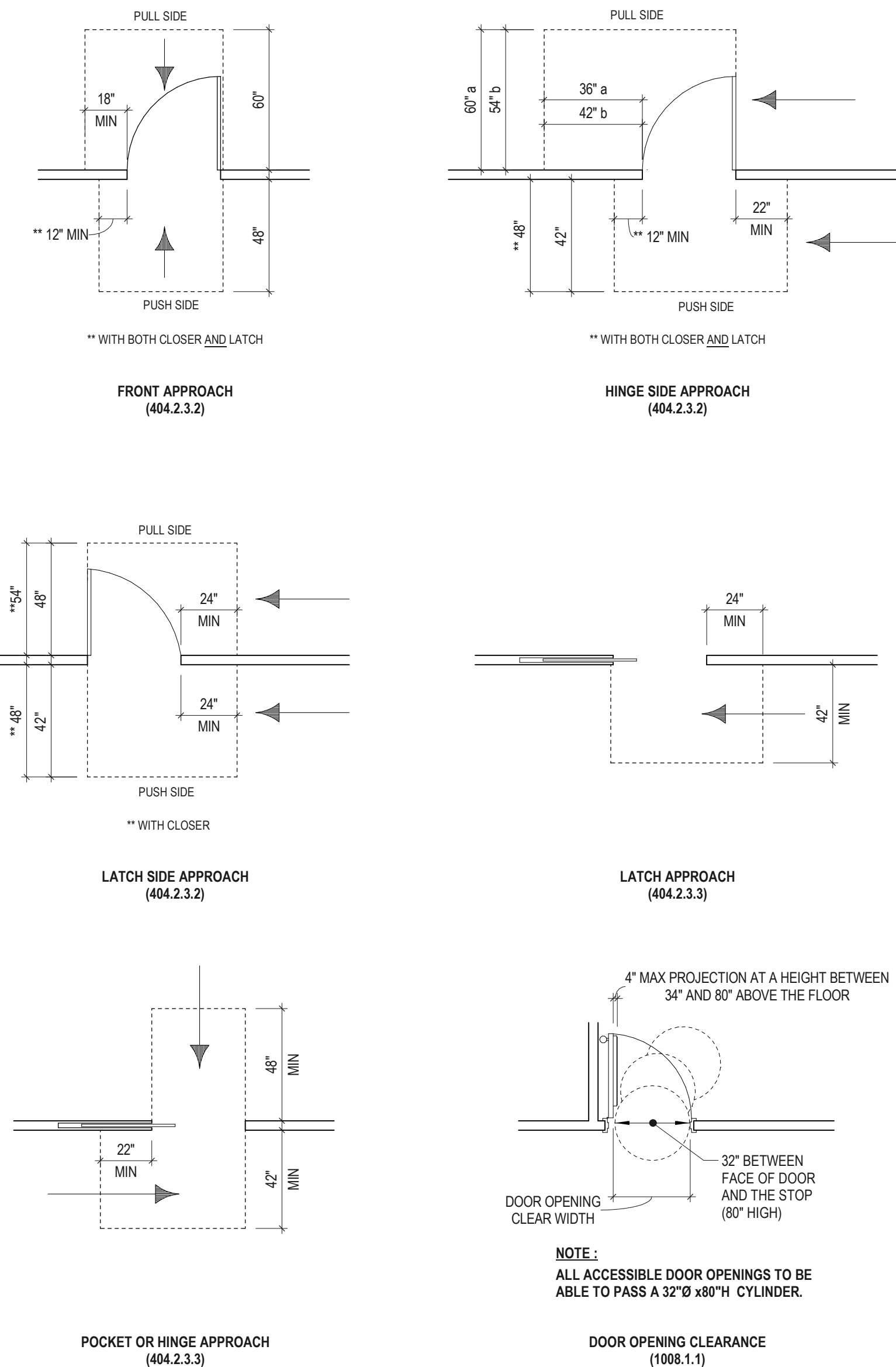
Drawing Number

A0.10

GRAPHIC SYMBOLS



MANEUVERING CLEARANCES FOR ALL ACCESSIBLE DOORS



Applicable Codes and Standards

SRC-1 Rhode Island State Rehabilitation Building and Fire Code for Existing Buildings and Structures, and by Reference:

SBC-1 International Building Code 2018 (ICC)
SBC-3 International Plumbing Code 2018 (IPC)
SBC-4 International Mechanical Code 2018 (IMC)
SBC-5 National Electrical Code 2020 (NEC)
SBC-8 International Energy Conservation Code 2018 (IECC)

The evaluation for variance application prepared by Jensen Hughes, Associates was conducted in accordance with the following codes and standards:

* Rhode Island Fire Safety Code (RIFSC), which includes:

* The applicable sections of the Rhode Island Fire Code (RIFC) (NFPA 1 – 2015);

* The applicable sections of the Rhode Island Life Safety Code (RILSC) (NFPA 101 – 2015);

* The applicable sections of the Standard for the Installation of Sprinkler Systems (NFPA 13 – 2013)

* The applicable sections of the National Fire Alarm and Signaling Code (NFPA 72 – 2013).

Scope of Work.

It includes the following renovations to the exterior and interior locations: roof replacement, roof fascia replacement and eave vent installation, repairs and insulation installation in attic floor, attic stairs replacement, masonry re-pointing and repairs, window replacement, entry porch replacement including removal of spiral stair fire escape (see latest variance approval below), front doors repairs and painting, front stoop handrail repair and painting.

Background Information for buildings 2, 4, 6 and 8

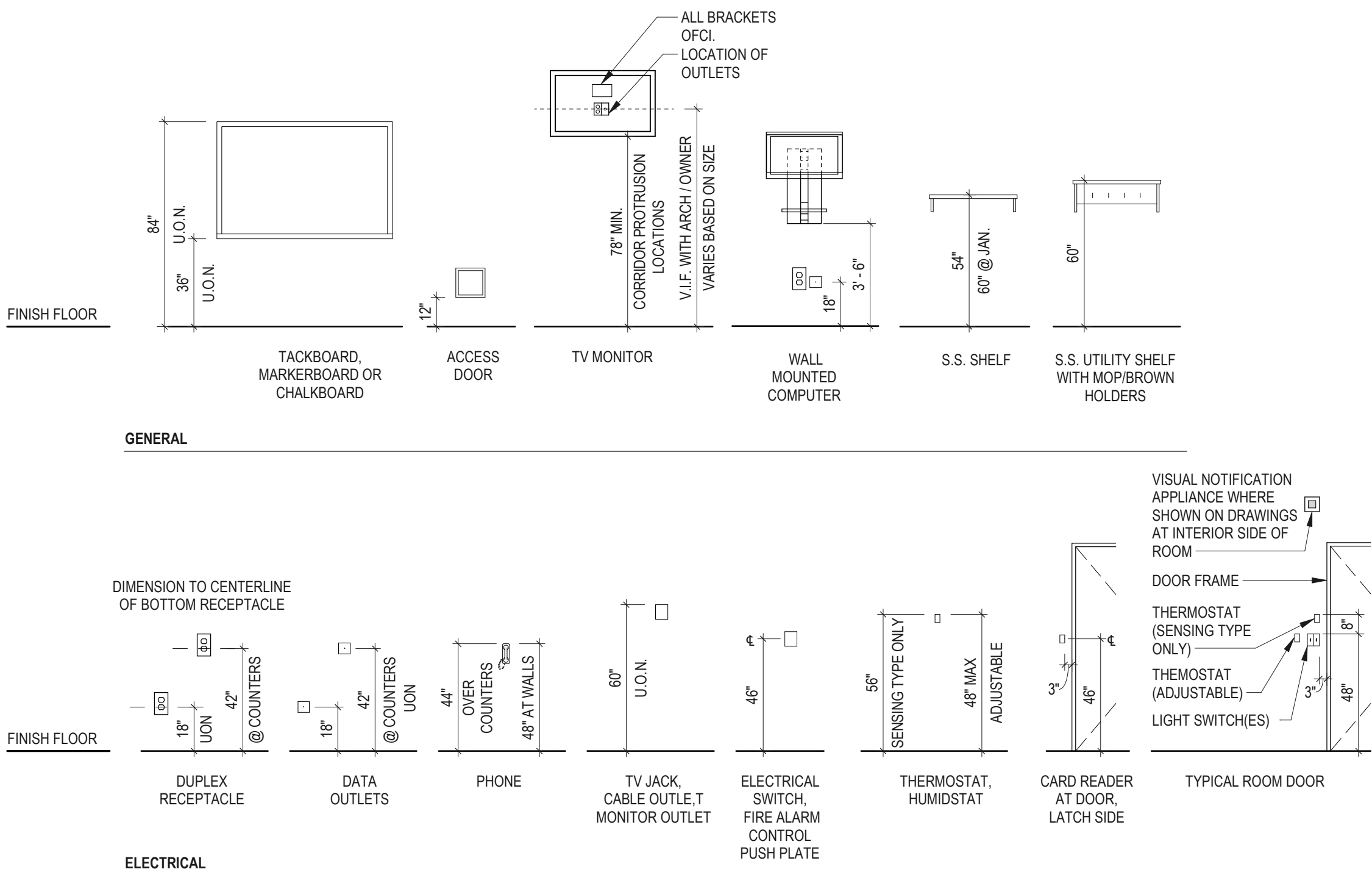
The University Gateway Apartments complex consists of four (4), two (2)-story buildings designated as Building 2, Building 4, Building 6, and Building 8, as shown in Figure 1. Buildings 2 and 8 contain four (4) dwelling units each with two (2) dwelling units on each floor; Buildings 4 and 6 contain eight (8) dwelling units each. Buildings 4 and 6 are each configured as two (2), four (4) unit buildings arranged back-to-back with an eight (8)-inch brick wall serving as a fire barrier. The fire barrier extends through the attic to the underside of the roof deck. The dwelling units are each provided with independent cooking and bathroom facilities. As such, the buildings are defined by the RILSC as existing apartment occupancies.

The buildings are provided with interior exit stairs serving as the primary means of egress for the dwelling units. An interior stair is provided for each four (4) dwelling unit, with Buildings 2 and 8 having one (1) stair and Buildings 4 and 6 having two (2) stairs. Each dwelling unit on the second floor is provided with access to one (1) stair because there is not a connection between the two (2) stairs in Buildings 4 and 6. The dwelling unit doors open directly to the stair enclosure without use of exit access corridors. Each stair provides the means of egress for a total of four (4) dwelling units, two (2) on the first floor and two (2) on the second floor. Each stair is provided with two (2) exit doors discharging to the exterior at grade, located on opposite sides of the building. The buildings are equipped with existing exterior spiral stairs, which provide a secondary means of egress from the second floor of each building. Buildings 4 and 6 are provided with two (2) spiral stairs each. The spiral stairs are accessed through a double hung window, with heights varying from seven (7) to 24 inches above the finished floor of the second floor stair enclosure, as shown in Figure 5.

The buildings were provided with automatic sprinkler systems, installed in accordance with NFPA 13, in 2013. The buildings are also protected by fire alarm systems providing emergency force notification directly to the Kingston Fire Department, which were installed in 2009.

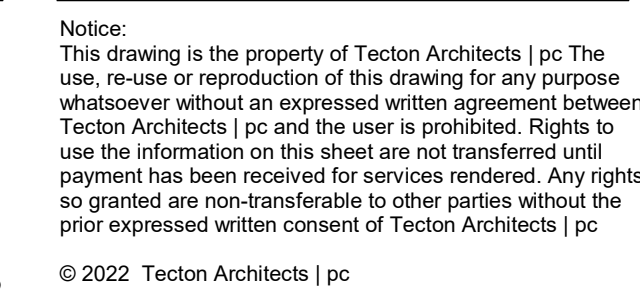
The buildings were granted the following variances by the Fire Safety Code Board of Appeal and Review The variances were granted to the 2003 edition of the RILSC.

- Decision #110152 on November 28, 2011
 - The first variance granted was for RILSC § 7.1.3.2.1(1) related to the rating of the dwelling unit doors opening onto the exit enclosure. The variance was granted based on the fact that the doors were solid wood construction having a minimum fire resistance rating of 20 minutes and the fact that a fire alarm system had recently been installed. The variance did not take into account the automatic sprinkler system that would subsequently be installed in 2013.
 - The second variance granted was for RILSC § 7.1.3.2.1(1) related to existing normally unoccupied rooms opening directly into the stair enclosures. A condition of the variance granted was that the rooms could not be utilized for storage. Since an NFPA 13 sprinkler system has been installed in the building, all closets are provided with sprinkler protection.
- Decisions #2020070 (Bldg. 2), #2020071 (Bldg. 4), #2020072 (Bldg. 6), #2020073 (Bldg. 8), on January 5, 2021
 - The third variance was granted for the provisions of RILSC §31.2.4.6(4), to allow the University to demolish the fire escape spiral stairs and have one means of egress for the two apartments on the second floor of each building. This provision requires all openings between the exit stairway enclosure and the building be protected with self-closing doors having a minimum one (1)-hour fire protection rating. As condition of the requested variance, the University of Rhode Island agrees to provide and maintain the following: (1) The dwelling unit doors will be treated with FlameOFF® Fire Barrier Paint, which is an intumescent paint. The paint will be applied to provide the minimum dry film thickness (30 Mils) to provide a one (1)-hour fire protection rating in accordance with the manufacturer's instructions; (2) Each sleeping room and living area in every dwelling unit is provided with a window meeting the minimum dimensions required for windows for rescue serving as a secondary means of escape, even though not required in a building protected throughout by an automatic sprinkler system.



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION & REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS, INCLUDING ALL COSTS FOR CARRYING & DUMPING, OF ALL MATERIAL DERIVED FROM THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH & REPAIR ALL EXISTING, TO REMAIN AREAS & SURFACES AS NOTED &/or SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. DASHED AREAS IDENTIFY MATERIALS TO BE REMOVED & DEMOLISHED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED & REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER. CHANGE OF PLANE OR SURFACE SHALL BE SMOOTH & CLEAN. A SMOOTH & CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (THE INTENT IS TO AVOID THE ADJACENT AREAS BEING PATCHED OR REPAIRED).
4. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND/OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. THE PROJECT TEAM HAS NOT INTENDED FOR A REUSE OR SCHEDULED TO REPAIR.
5. WHEN WALLS, COLUMNS, ROOF CONSTRUCTION, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT THE IMPOSED LOADS.
6. PRESERVE & PROTECT ALL FLOOR, WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
7. DURING DESIGN A WINDOW WAS REMOVED TO DETERMINE THE PROCESS FOR REPLACEMENT. WE WERE ABLE TO REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME AND SILL. THE WINDOW WAS REMOVED WITHOUT DAMAGING INTERIOR PLASTER/PLASTERBOARD AND JAMBS.

1	REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER
2	REMOVE DAMAGED VCT FLOOR TILES AND ADHESIVE, PREP FLOOR FOR REPLACEMENT. REFERENCE A1.02 FOR QUANTITY.
3	REMOVE DAMAGED 4"x4" QUARRY FLOOR TILES AND ADHESIVE, PREP FLOOR FOR REPLACEMENT.
4	REMOVE ROOFING SYSTEM IN ITS ENTIRETY DOWN TO ROOF SHEATHING.
5	REMOVE GUTTERS AND DOWNSPOUTS, TYPICAL.
6	REMOVE PORCH IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO ROOF CANOPY, SPIRAL STAIR, COLUMNS, CONCRETE SLAB, FOUNDATION AND ALL ATTACHMENTS.
7	REMOVE PULL DOWN ATTIC STAIR
14	PROVIDE WALL OPENING FOR EXHAUST FAN ASSEMBLY, COORDINATION LOCATION WITH ARCHITECT.



Client/ Contracto

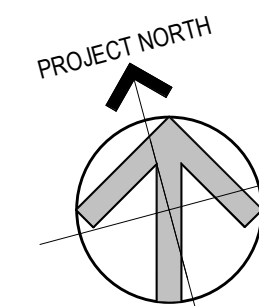
UNIVERSITY OF
RHODE ISLAND

KINGSTON, RI. 02881

Project

**ROOF, WINDOW,
PORCHES
REPLACEMENT AND
EXTERIOR REPAIR**

GATEWAY APARTMENTS
BUILDING #2



Seals

**CONSTRUCTION
DOCUMENTS**



Issues / Revisions

[illegible]

Drawing Title

BUILDING 2 DEMOLITION PLANS AND ELEVATIONS

Project Manager:	MT	Project No:	URI-48-
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Project Architect:	JB	Production Leader:	
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Project Designer:	Peer Reviewer:	F
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Drawing Number

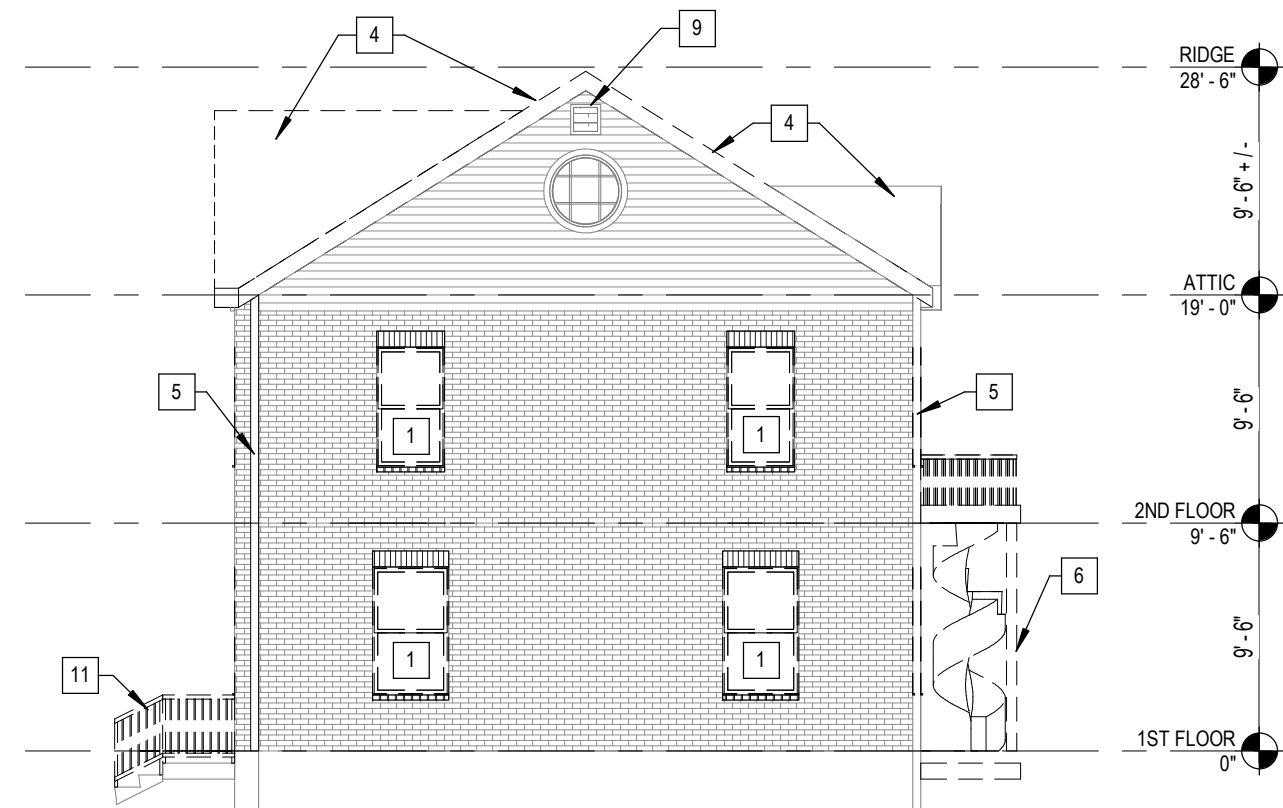
D1.02

GENERAL NOTES - DEMOLITION

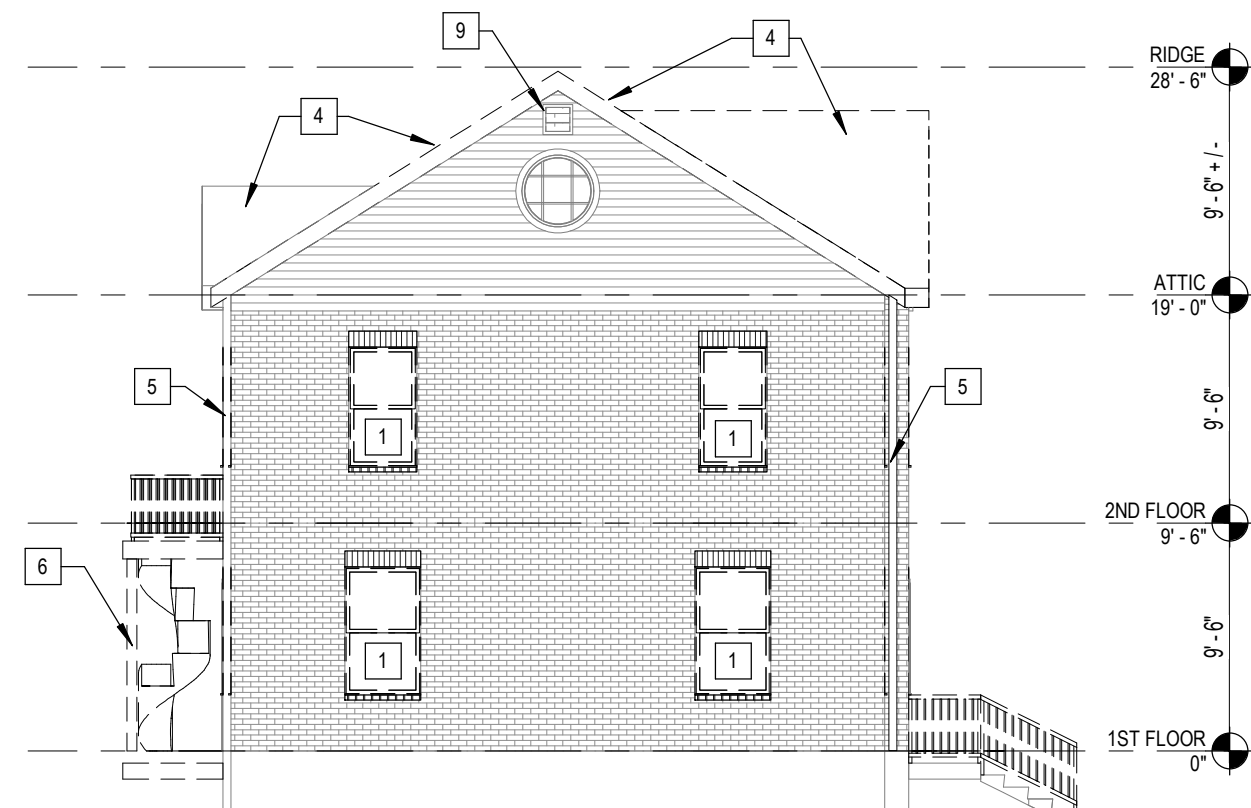
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION & REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL & PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING & DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH & REPAIR ALL EXISTING TO REMAIN AREAS & SURFACES AS NOTED &/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (I.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. DASHED AREAS IDENTIFY MATERIALS TO BE REMOVED & DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED & REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH & CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (THE INTENT IS TO AVOID THE APPEARANCE OF A PATCHED CONDITION).
4. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND/OR OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE & REUSE OR SCHEDULED TO REMAIN.
5. WHEN WALLS, COLUMNS, ROOF CONSTRUCTION, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT THE IMPOSED LOADS.
6. PRESERVE & PROTECT ALL FLOOR, WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
7. DURING DESIGN, A WINDOW WAS REMOVED TO DETERMINE THE PROCESS FOR REPLACEMENT. WE WERE ABLE TO REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER WITHOUT DAMAGING INTERIOR PLASTER/PLASTERBOARD AND JAMBS.

KEYNOTES - DEMOLITION

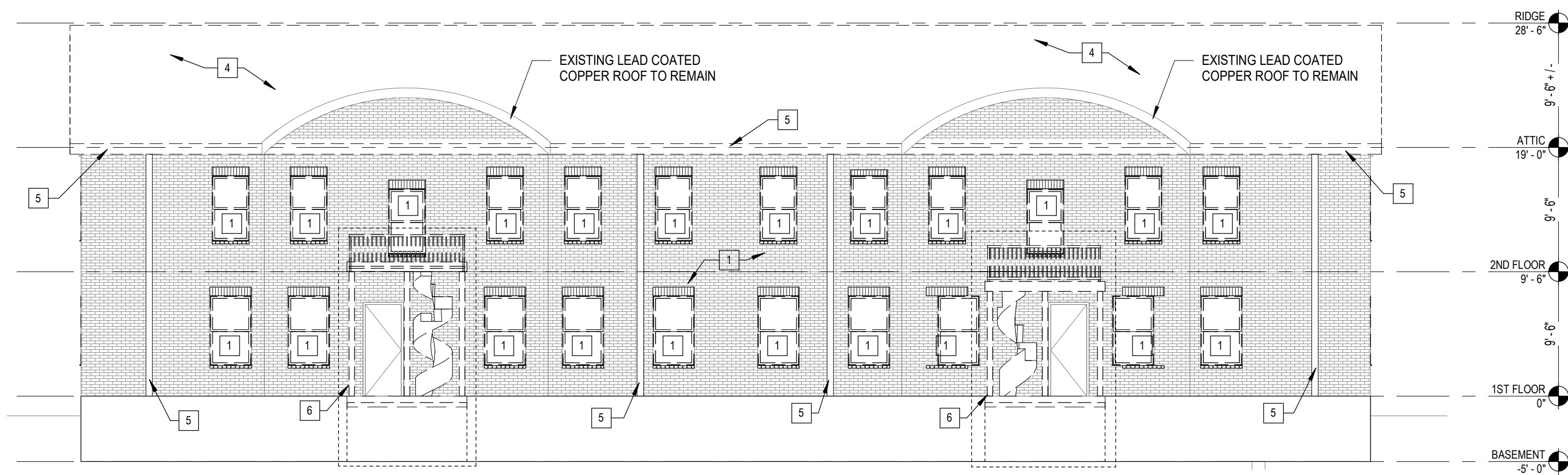
- | X | |
|----|--|
| 1 | REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER |
| 2 | REMOVE 500 SF OF DAMAGED VCT FLOOR TILES AND ADHESIVE. PREP FLOOR FOR REPLACEMENT. OWNER AND ARCHITECT TO REVIEW AND APPROVE QUANTITY AND LOCATIONS. |
| 3 | REMOVE DAMAGED 4"x4" QUARRY FLOOR TILE AND ADHESIVE. PREP FLOOR FOR REPLACEMENT. |
| 4 | REMOVE ROOFING SYSTEM IN ITS ENTIRETY DOWN TO ROOF SHEATHING. |
| 5 | REMOVE GUTTERS AND DOWNSPOUTS, TYPICAL. |
| 6 | REMOVE PORCH IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO ROOF CANOPY, SPIRAL STAIR, COLUMNS, CONCRETE SLAB, FOUNDATION AND ALL ATTACHMENTS. |
| 7 | REMOVE PULL DOWN ATTIC STAIR |
| 8 | REMOVE LIGHTING FIXTURE, BACKBOX AND WIRING TO REMAIN. |
| 9 | REMOVE LOUVER AND ALL ATTACHMENTS. |
| 11 | REMOVE WROUGHT IRON RAILING. COORDINATE WITH NEW WORK TO REPLACE TO MATCH EXISTING. |
| 12 | REMOVE WOOD TRIM AROUND DOOR FRAME AND TRANSOM INCLUDING WOOD THRESHOLD. SALVAGE WOOD TRIM FOR REPLICATION AND INSTALLATION OF NEW WORK, REFER TO CONSTRUCTION PLAN. EXISTING DOOR, FRAME, HARDWARE AND TRANSOM TO REMAIN. |



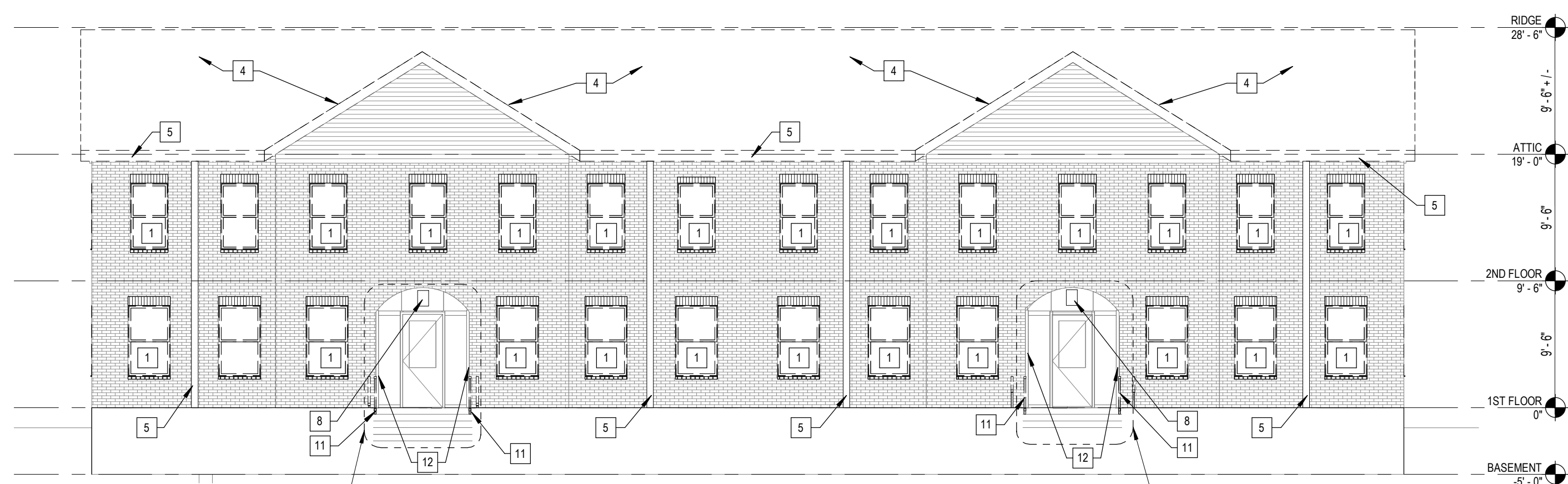
E11 BLDG 4 - EAST ELEV. DEMO.
1/8" = 1'-0"



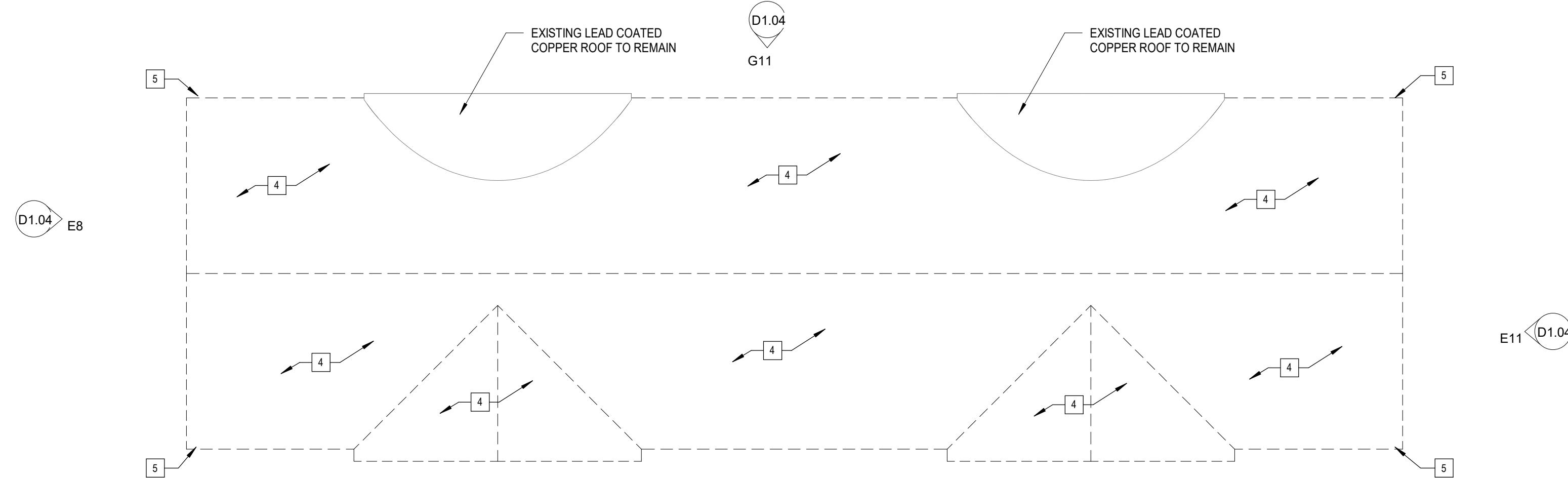
E8 BLDG 4 - WEST ELEV. DEMO.
1/8" = 1'-0"



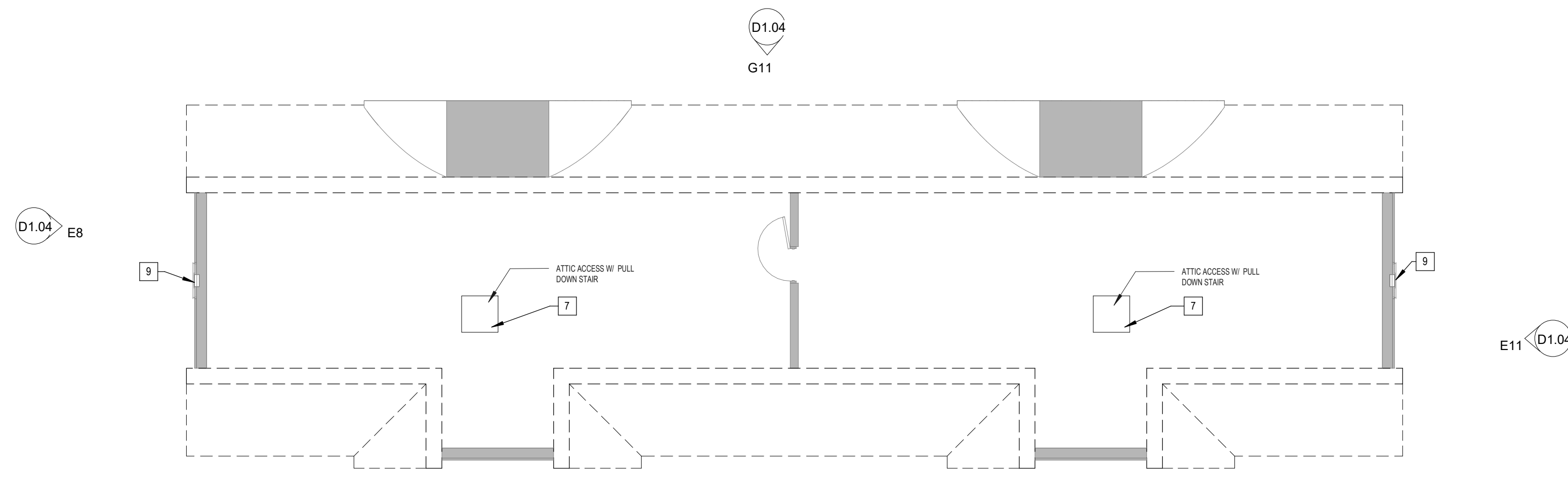
G11 BLDG 4 - NORTH ELEV. DEMO.
1/8" = 1'-0"



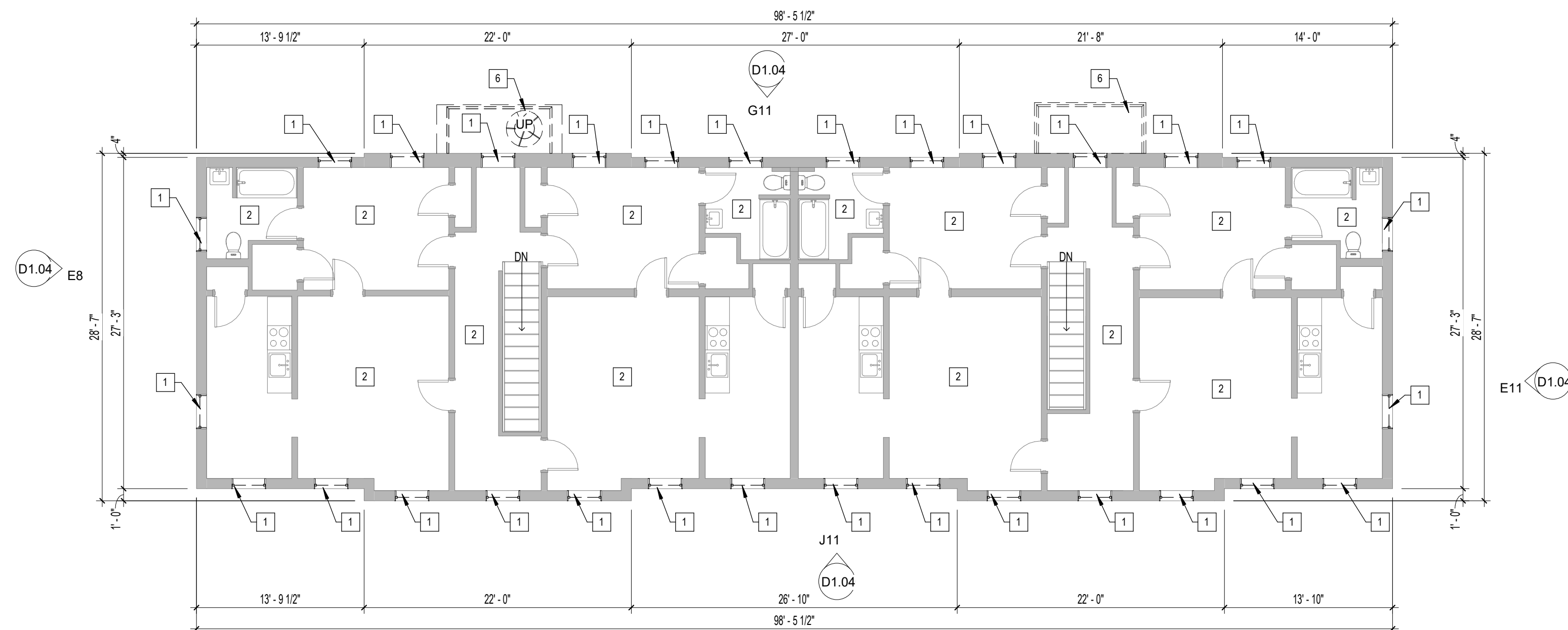
J11 BLDG 4 - SOUTH ELEV. DEMO.
1/8" = 1'-0"



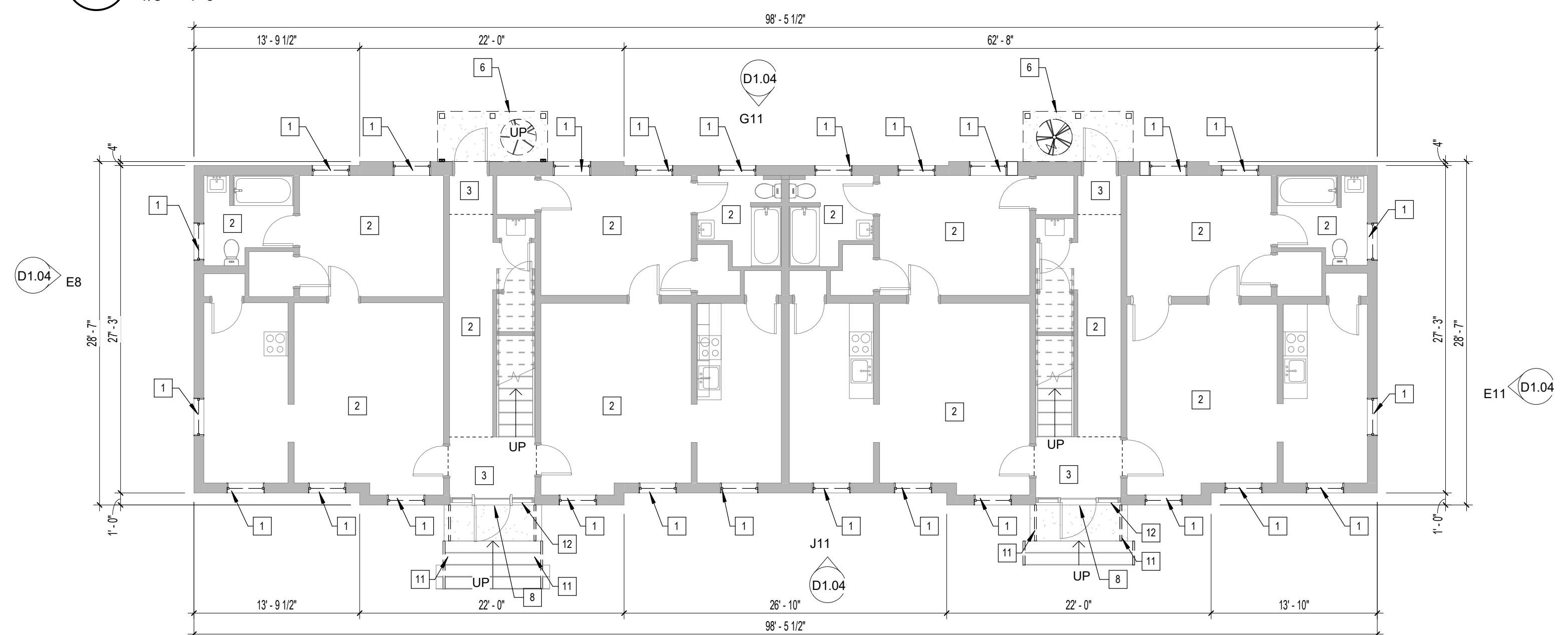
C5 BLDG 4 - ROOF PLAN DEMO.
1/8" = 1'-0"



E5 BLDG 4 - ATTIC PLAN DEMO.
1/8" = 1'-0"



G5 BLDG 4 - 2ND FLOOR PLAN DEMO.
1/8" = 1'-0"



J5 BLDG 4 - 1ST FLOOR PLAN DEMO.
1/8" = 1'-0"



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Client/ Contractor

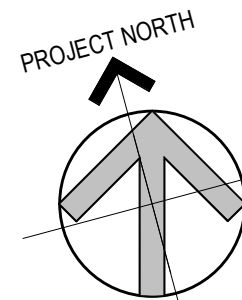
UNIVERSITY OF RHODE ISLAND

KINGSTON, RI. 02881

Project

ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

GATEWAY APARTMENTS BUILDING #4



Seals

CONSTRUCTION DOCUMENTS



Issues / Revisions

No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

Drawing Title

BUILDING 4 DEMOLITION PLANS AND ELEVATIONS

Project Manager: MT Project No: URI-48-IN

Project Architect: JB Production Leader: JB

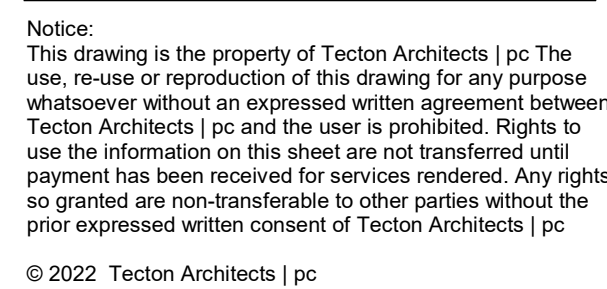
Project Designer: Peer Reviewer: RA

Drawing Number

D1.04

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMEDIATION TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL & PROPER DISPOSAL, INCLUDING ALL COSTS FOR DEMOLITION, INCLUDING BUT NOT LIMITED TO, THE COSTS TO PROTECT THE CONTRACTOR SHALL PROVIDE WORKER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DUSTS, HARDWARE, WINDOWS, ETC. BEFORE REMOVING FROM SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH & REPAIR ALL EXISTING TO REMAIN SURFACES IDENTIFIED ANY WALL OR SURFACE BEING REMOVED ON SHALL BE PATCHED & REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH & CLEAN FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING & FINISHING EXISTING SURFACES (THE INTENT IS TO AVOID THE APPEARANCE OF A PATCHED CONDITION).
4. IT IS NOT THE INTENT TO SHOW EVERY ITEM OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL, AND/OR OTHER WORK RELATED TO WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL, SHALL BE PERFORMED BY THE CONTRACTOR. IT IS NOT THE INTENT TO SHOW ITEMS INTENDED FOR SALVAGE & REUSE OR SCHEDULED TO REMAIN.
5. WHEN WALLS, CEILINGS, ROOF CONSTRUCTION, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE REMAINING STRUCTURES ARE IN PLACE AND ARE TO BE MAINTAINED UNTIL THE REMAINING STRUCTURES ARE IN PLACE AND ARE TO BE SUPPORT THE IMPOSED LOADS.
6. PRESERVE & PROTECT ALL FLOOR, WALL AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
7. DURING DESIGN, A WINDOW WAS DETERMINED TO DETERMINE THE PROCESS FOR REPLACEMENT. WE WERE ABLE TO REMOVE INTERIOR TRIM REPLACEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE WINDOW COVER WITHOUT DAMAGING INTERIOR PLASTER/PLASTERBOARD AND JAMBS.

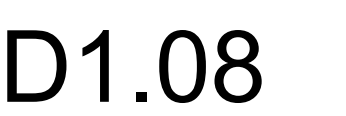
- 10 REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER
- 11 REMOVE EXTERIOR VCT FLOOR, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER
- 12 REMOVE DAMAGED 4"x4" QUARRY FLOOR TILES AND ADHESIVE, PREP FLOOR FOR REPLACEMENT.
- 13 REMOVE ROOFING SYSTEM IN ITS ENTIRETY DOWN TO ROOF SHEATHING.
- 14 REMOVE GUTTERS AND DOWNSPOUTS TYPICAL.
- 15 REMOVE ROOF CANOPY, SPIRAL STAIR, COLUMNS, CONCRETE SLAB, FOUNDATION AND ALL ATTACHMENTS.
- 16 REMOVE PULL DOWN ATTIC STAIR.
- 17 REMOVE LIGHTING FIXTURE, BACKSPLASH AND WIRING TO REMAIN.
- 18 REMOVE SINGLE PLY ROOFING SYSTEM IN ITS ENTIRETY DOWN TO ROOF SHEATHING.
- 19 REMOVE WROUGHT IRON RAILINGS, COORDINATE WITH NEW WORK TO REPLACE TO MATCH EXISTING.
- 20 REMOVE WOOD TRIM AT SIDES OF DOOR AND SALVAGE FOR REPAIR AND INSTALLATION OF NEW WORK, REFER TO CONSTRUCTION PLAN, PEDIMENT TO REMAIN.
- 21 REMOVE BROWALS.



D1.06

7. DURING DESIGN, A WINDOW WAS REMOVED TO DETERMINE THE PROCESS FOR REPLACEMENT. WE WERE ABLE TO REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER WITHOUT DAMAGING INTERIOR PLASTER/PLASTERBOARD AND JAMBS.

1	REMOVE INTERIOR TRIM, REPLACEMENT WINDOW, ORIGINAL WINDOW FRAME CASING AND EXTERIOR ALUMINUM TRIM COVER
2	REMOVE DAMAGED VCT FLOOR TILES AND ADHESIVE. PREP FLOOR FOR REPLACEMENT.
3	REMOVE EXISTING VCT FLOOR TILES AND ADHESIVE. PREP FLOOR FOR REPLACEMENT. REFERENCE A.08 FOR QUANTITY.
4	REMOVE ROOFING SYSTEM IN ITS ENTIRETY DOWN TO ROOF SHEATHING.
5	REMOVE GUTTERS AND DOWNSPOUTS TYPICAL.
6	REMOVE PORCH IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO ROOF CANOPY, SPIRAL STAIR, COLUMNS AND CONCRETE SLAB, FOUNDATION AND ALL ATTACHMENTS.
7	REMOVE PIVIL DOWN ATTIC STAIR



GENERAL NOTES - CONSTRUCTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL ROOF DECK CONDITIONS DISTURBED OR OTHERWISE IN NEED OF PATCHING AND REPAIRING PRIOR TO INSTALLATION OF ROOFING SYSTEM.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING, REPAIRING AND/OR CAULKING OF ALL EXISTING AND NEW ROOF DECK PENETRATIONS.
3. REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED FOR REUSE SHALL BE AT THE SOLE DISCRETION OF THE OWNER. MATERIALS WHICH DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS SHALL NOT BE USED.
4. PROVIDED BUILDING DIMENSIONS ARE +/- DIMENSIONS FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REPAIR ALL PLASTER, INCLUDING ALL CRACKING AND ANY AREAS THAT DO NOT PASS TESTING. ALL REPAIRS ARE TO MATCH EXISTING COLORS AS APPROVED BY ARCHITECT.
6. POWER WASH BUILDING EXTERIOR.
7. PROVIDE MORTAR TYPE "N" FOR REPOINTING, COLOR AND MIX TO MATCH EXISTING
8. PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOW, BOTH SASHES.

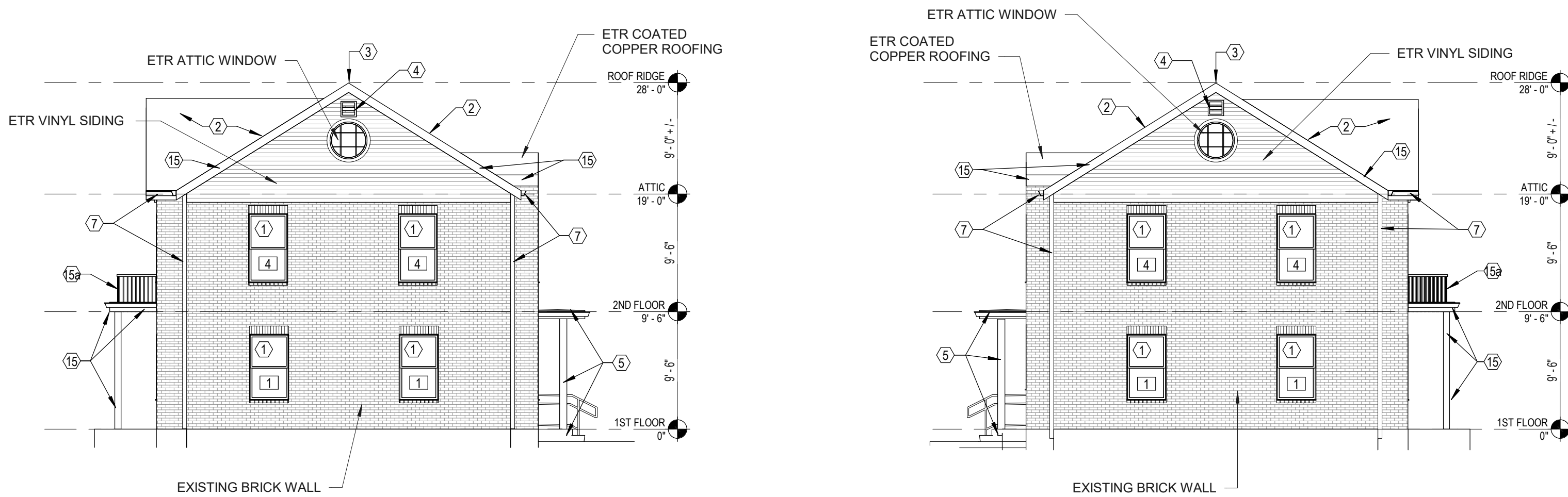
WINDOW SCHEDULE				
NUMBER	COUNT	WIDTH	HEIGHT	
1	18	3' - 2"	5' - 4"	
2	2	4' - 0"	5' - 4"	
3	2	3' - 2"	3' - 11"	
4	17	3' - 2"	5' - 7"	
5	2	4' - 0"	5' - 7"	
6	1	3' - 0"	5' - 7"	
7	2	3' - 2"	4' - 5"	

KEYNOTES - CONSTRUCTION

- 1 WINDOW SYSTEM, PROVIDE MARVIN, ELEVATE COLLECTION, DOUBLE HUNG, FIBERGLASS EXTERIOR / WOOD INTERIOR WINDOW, WITH DOUBLE PANE LOW-E GLAZING AND INTERIOR TRIM. REFER TO DETAILS H2 AND J7 ON A5.01. CASING TO BE 2 1/2" COLONIAL WITH WOOD STOOL. PRIME AND PAINT 2 COATS INTERIOR WINDOW AND TRIM, COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
- 2 ARCHITECTURAL SHINGLES, CERTAINTAIN 40 YEAR - COLOR BY ARCHITECT. PROVIDE WINTERGUARD UNDERLAYMENT ENTIRE ROOF.
- 2a FULLY ADHERED EPDM ROOF WITH SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM, SEE SECTION DETAIL.
- 3 CONTINUOUS RIDGE VENT WITH CAP SHINGLES.
- 4 ATTIC EXHAUST FAN - PROVIDE GREENHECK FAN SDPE-D, WITH LOUVER PAINTED WHITE, INSECT SCREEN AND THERMOSTAT. EACH FAN SIZED FOR 520 CFM. REFER TO C7 / A5.01. CONNECT TO ELECTRICAL JUNCTION BOX OR OUTLET IN ATTIC. LOCATED WITHIN 20 FEET FROM FAN.
- 5 COVERED PORCH, SEE DETAILS E12 AND J12 ON SHEET A5.01.
- 6 ATTIC WALKWAY, REFER TO DETAIL C7 / A5.01.
- 7 SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM, PROVIDE 3/4" PVC FASCIA AND SOFFIT WITH CONTINUOUS VENT, PRIME AND PAINT 2 COATS, COLOR BY ARCHITECT. REFER TO C7 / A5.01.
- 8 REPOINT / REPAIR / REPLACE BRICK AS REQUIRED IN HATCHED AREAS, TYPICAL. MATCH NEW BRICK TO EXISTING, AS APPROVED BY ARCHITECT.
- 9 PATCH VCT FLOORING, PROVIDE VCT TO MATCH COLOR OF ADJACENT TILES, AS APPROVED BY ARCHITECT.
- 10 1 HOUR RATED ATTIC PULL DOWN STAIR. MODIFY SIZE OF OPENINGS AS NECESSARY TO RECEIVE NEW PULLDOWN STAIR. BASIS OF DESIGN: FAKRO LMF 60, WITH WOOD TRIM LXL-W, PAINT TO MATCH CEILING. W/ GRAINGER KEYED DIFFERENT LOCKING HASP, ITEM & MODEL #1RBJ9. STAIR MEASUREMENTS TO BE VERIFIED IN FIELD. PATCH AND PAINT CEILING.
- 11 PAINT INTERIOR DOOR AND FRAME WITH FLAME OFF FIRE BARRIER PAINT, PAINT COVERAGE RATE OF 15 WET MILLS.
- 14 PROVIDE AND REPLACE ALL BATHROOM EXHAUST FLEX DUCTS AND PROVIDE SIDE OR ROOF VENTS AT BATHROOMS THAT DO NOT VENT OUTSIDE.
- 15 PRIME AND PAINT 2 COATS COLUMNS AND TRIM - TYPICAL, COLOR BY ARCHITECT
- 15a PRIME AND PAINT 2 COATS EXISTING RAILINGS, - TYPICAL, COLOR BY ARCHITECT
- 16 PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOWS, BOTH SASHES.
- 17 PROVIDE TEMPERED GLAZING, BOTH SASHES
- 18 PROVIDE 1/2" AZEK PANEL OVER EXISTING INFILL. SEALANT AT ALL FOUR SIDES. WINDOW SILL ABOVE TO OVERHANG AZEK PANEL BY 1/2". PAINT AZEK PANEL BLACK TO MATCH WINDOW.
- 19 PROVIDE PILASTERS AT MASONRY WALL. REPLICATE FASCIA/CORNICE AT SAME HEIGHT SO THE EXISTING BRICK PENETRATION IS HIDDEN.
- 20 PROVIDE 4"x4" QUARRY FLOOR TILE INFILL AT REMOVED TILES. TO MATCH EXISTING ADJACENT.

CONSTRUCTION KEY

- REPOINT / REPAIR / REPLACE BRICK AS REQUIRED. NEW BRICK FOR REPLACEMENT SHALL MATCH EXISTING BRICK.

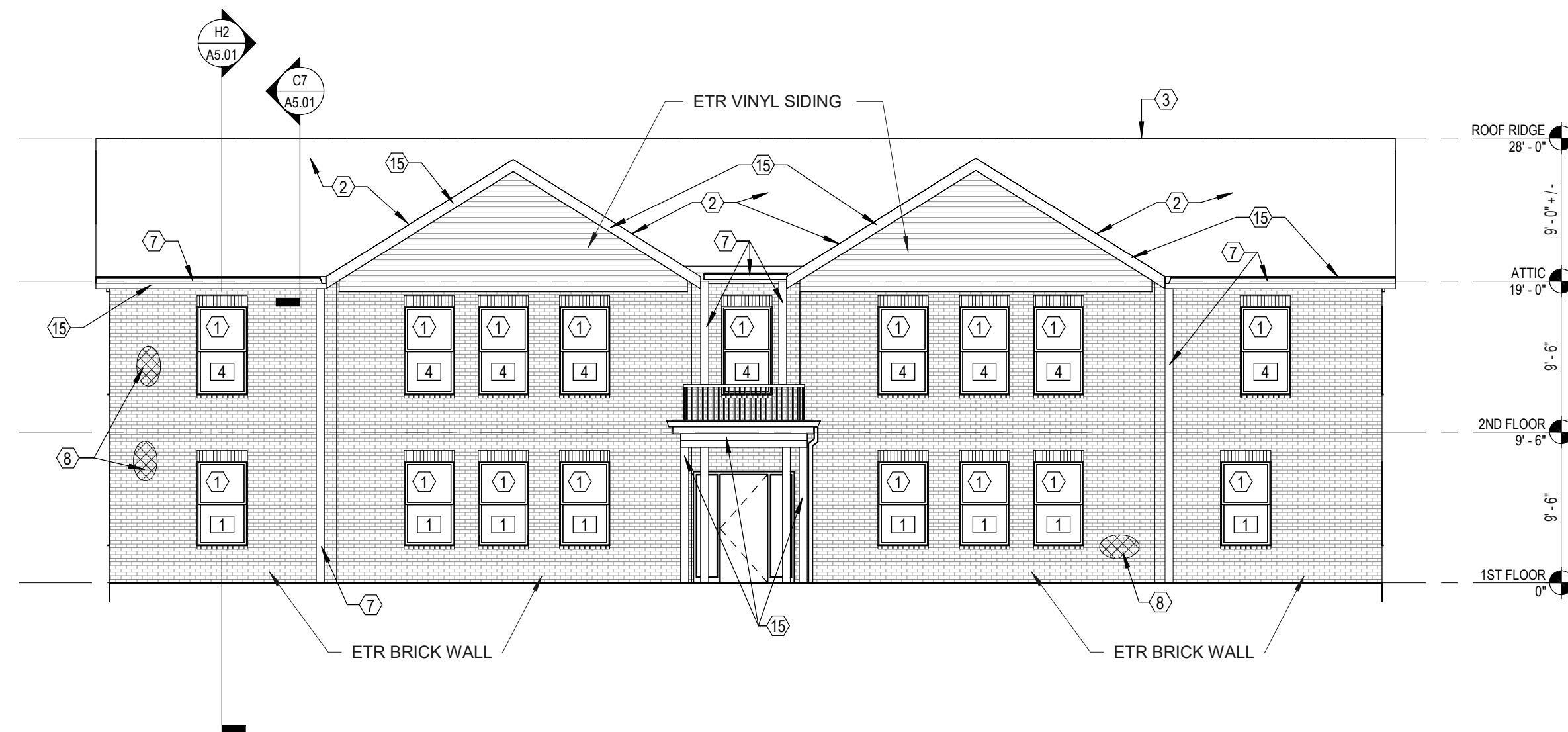


BLDG 2 - NORTH ELEVATION

1/8" = 1'-0"

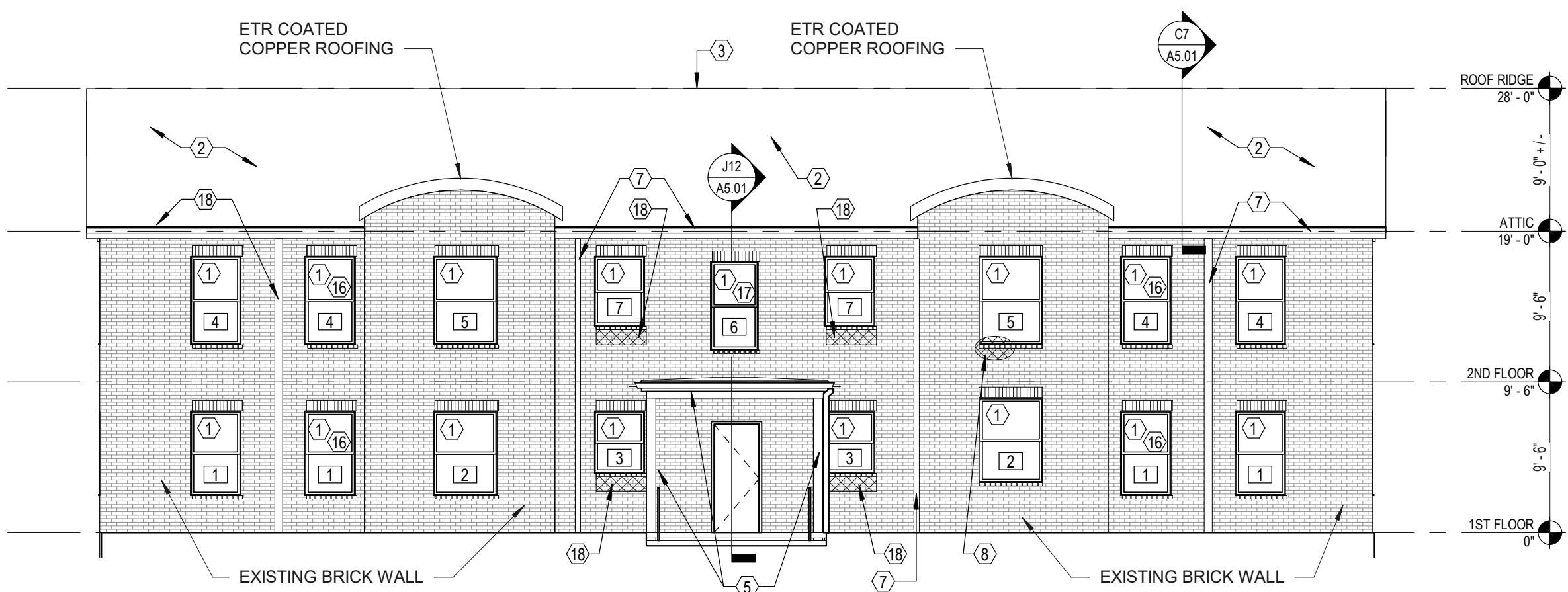
BLDG 2 - SOUTH ELEVATION

1/8" = 1'-0"



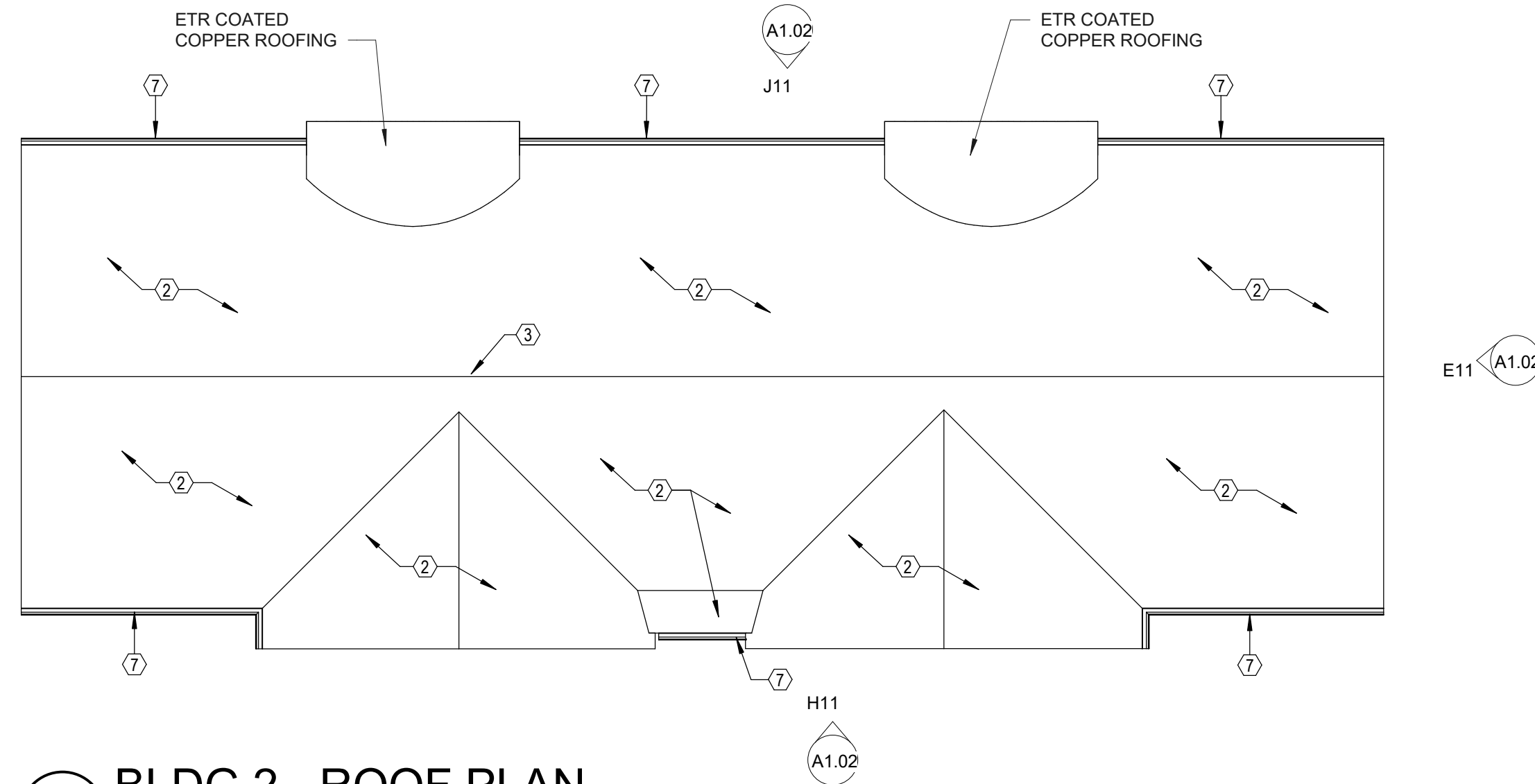
BLDG 2 - EAST ELEVATION

1/8" = 1'-0"



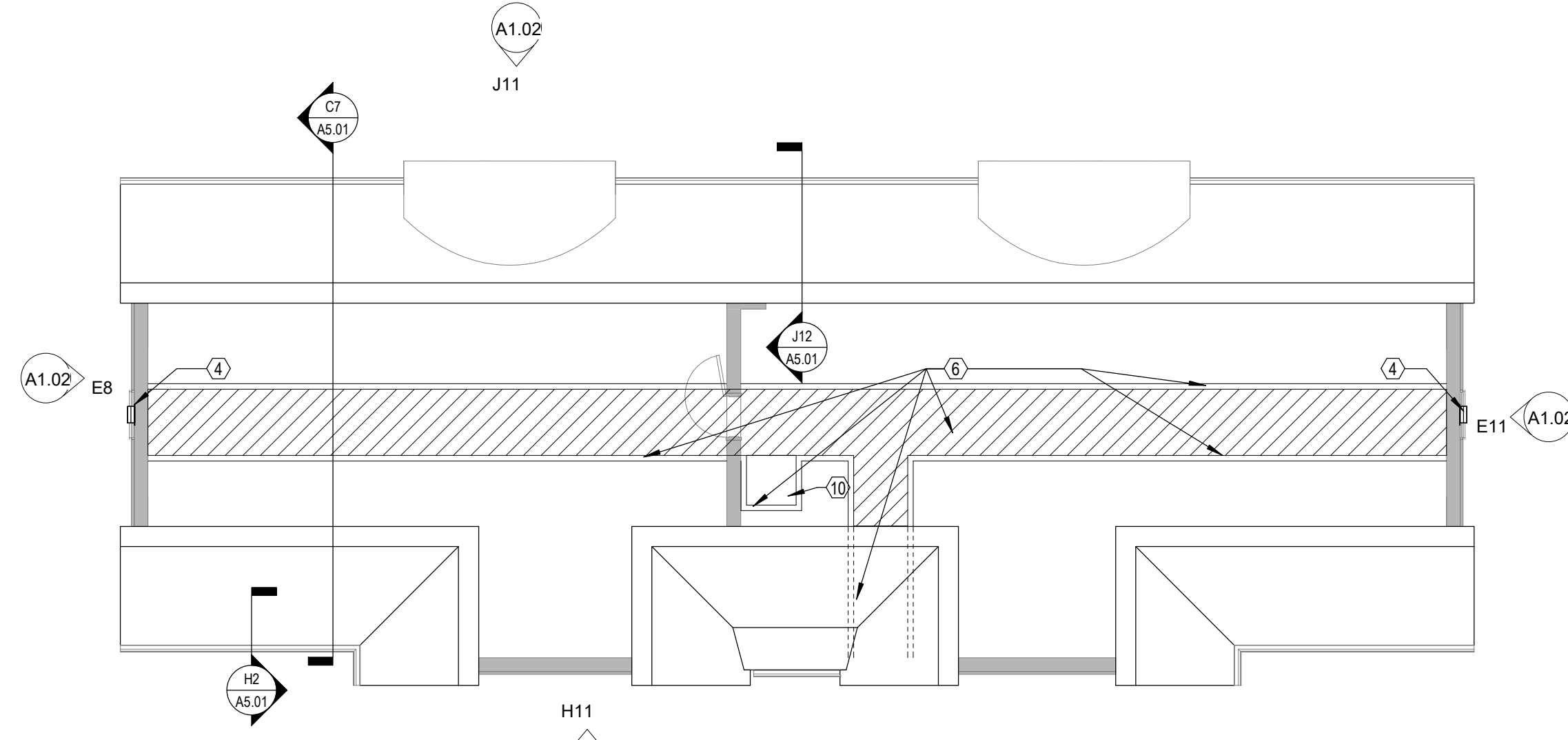
BLDG 2 - WEST ELEVATION

1/8" = 1'-0"



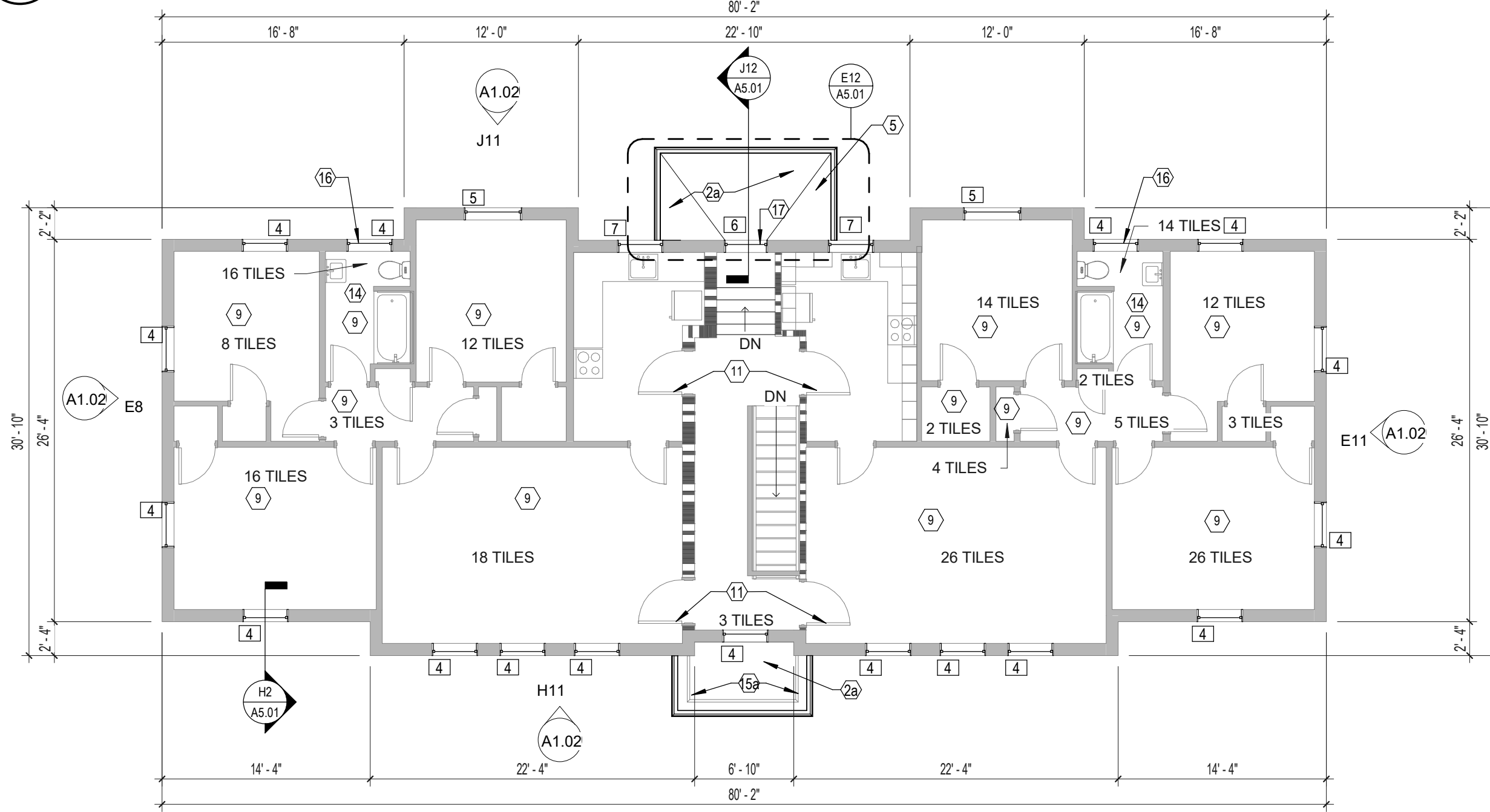
BLDG 2 - ROOF PLAN

1/8" = 1'-0"



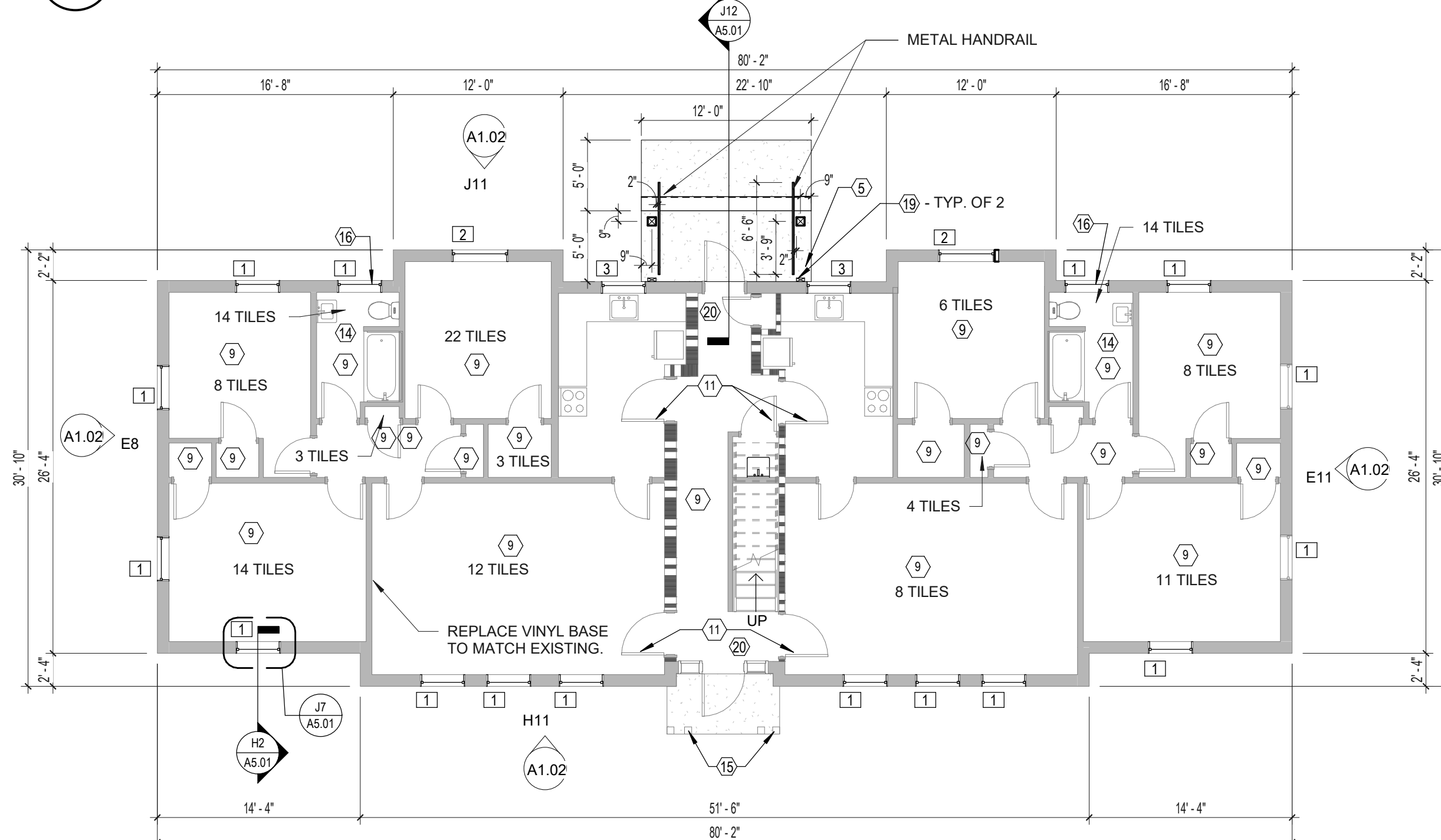
BLDG 2 - ATTIC PLAN

1/8" = 1'-0"



BLDG 2 - 2ND FLOOR PLAN

1/8" = 1'-0"



BLDG 2 - 1ST FLOOR PLAN

1/8" = 1'-0"



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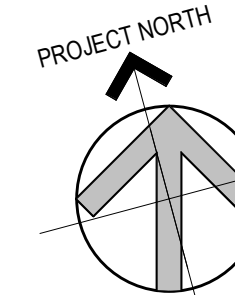
UNIVERSITY OF RHODE ISLAND

KINGSTON, RI. 02881

Project

ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

GATEWAY APARTMENTS BUILDING #2



Seals

CONSTRUCTION DOCUMENTS



Issues / Revisions

No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

Drawing Title

BUILDING 2 PLANS AND ELEVATIONS

Project Manager: MT Project No: URI-48-IN
Project Architect: JB Production Leader: JB
Project Designer: Peer Reviewer: RA

Drawing Number

A1.02

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL ROOF DECK CONDITIONS DISTURBED OR OTHERWISE IN NEED OF PATCHING AND REPAIRING PRIOR TO INSTALLATION OF ROOFING SYSTEM.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING, REPAIRING AND/OR CAULKING OF ALL EXISTING AND NEW ROOF DECK PENETRATIONS.
3. REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED FOR REUSE SHALL BE AT THE SOLE DISCRETION OF THE OWNER. MATERIALS WHICH DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS SHALL NOT BE USED.
4. PROVIDED BUILDING DIMENSIONS ARE +/- DIMENSIONS FOR REFERENCE ONLY, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REPAIR ALL PLASTER INCLUDING, ALL CRACKING AND ANY AREAS THAT DO NOT PASS TESTING. ALL REPAIRS ARE TO MATCH EXISTING COLORS AS APPROVED BY ARCHITECT.
6. POWER WASH BUILDING EXTERIOR.
7. PROVIDE MORTAR TYPE "N" FOR REPOINTING, COLOR AND MIX TO MATCH EXISTING
8. PROVIDE TAMPED AND ETCHED GLAZING AT ALL BATHROOM WINDOW, BOTH SASHES.

WINDOW SCHEDULE			
NUMBER	COUNT	WIDTH	HEIGHT
1	26	3' - 2"	5' - 4"
4	30	2' - 10"	5' - 0"

REPLACE WOOD TRIM AT JAMBS AND
HEADER. REPLACE WOOD THRESHOLD
WITH MAHOGANY THRESHOLD, MATCH
EXISTING PROFILES. PAINT ALL TRIM
AND TRANSOM MUNTINS BLACK. PAINT
DOOR AND FRAME BLACK.

REMOVE EXISTING TRIM AROUND
ORIGINAL SIDELIGHT MULLION
LOCATIONS. _____

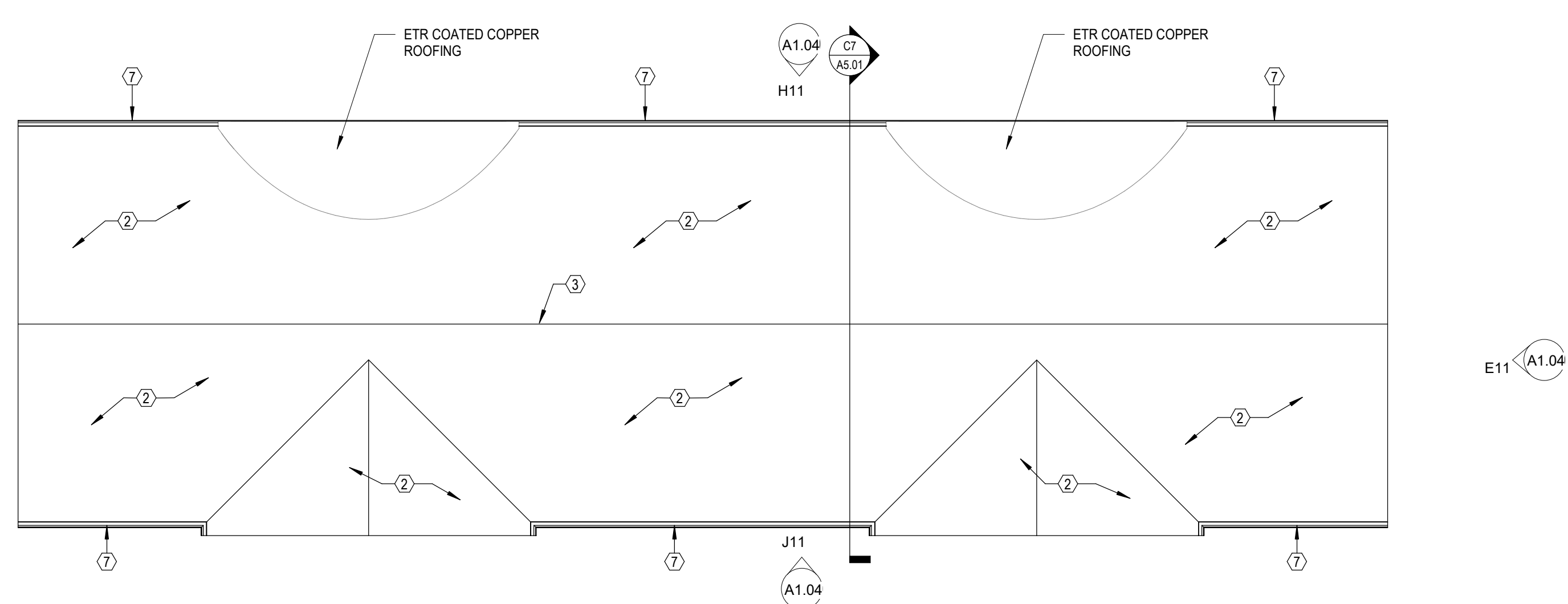
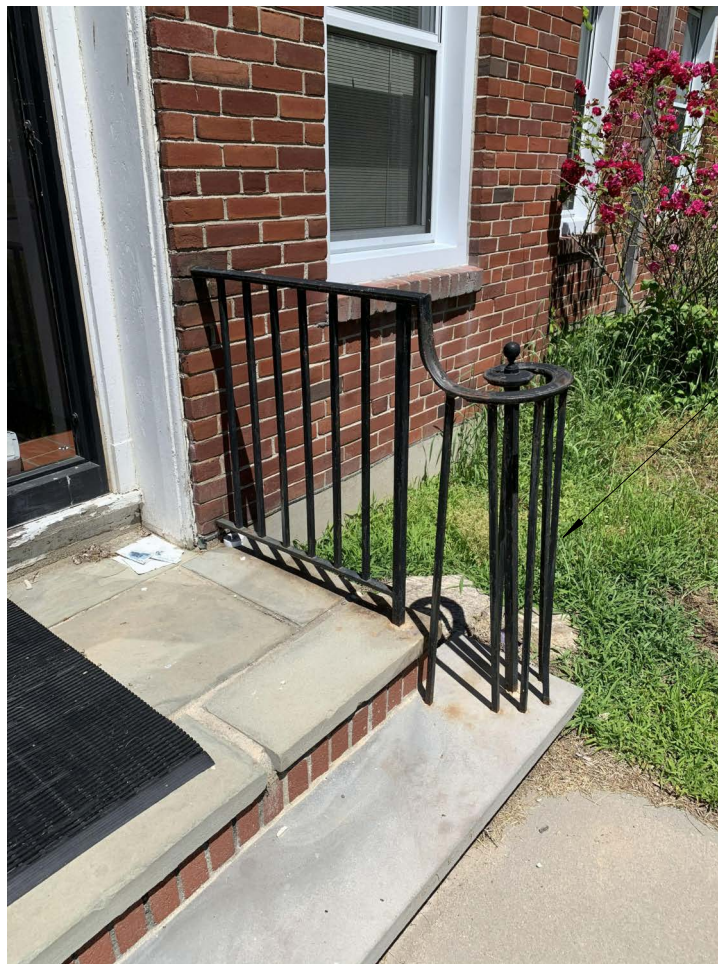
WROUGHT IRON HANDRAIL TO BE REPLACED TO MATCH EXISTING, PAINT BLACK. REPAIR STEPS AND STONE MORTAR JOINTS AS NEED

1	WINDOW SYSTEM, PROVIDE MARVIN, ELEVATE COLOR, DOUBLE HUNG, FINGERGLASS EXTERIOR / WOOD INTERIOR WITH DOUBLE PAN LOW-E GLAZING WINDOWS AND INTERIOR TRIM. REFER TO DETAILS AS-01 AND AS-02 FOR 2 1/2" COLORS. COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
2	ARCHITECTURAL SHINGLES, CERTAINTED 40 YEAR - COLOR BY ARCHITECT. PROVIDE WINTERGUARD UNDERLAYMENT ENTIRE ROOF.
3	FULLY ADHERED ROOF WITH SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM. SEE SECTION DETAIL.
4	CONTINUOUS ROOF WITH VAPOR BARRIERS.
5	ATTIC EXHAUST FAN - PROVIDE GREENEACH FAN SDFP-D, WITH LOUVER PATENT WHITE, INSPECT SCREEN AND THERMOSTAT. EACH FAN SIZED FOR 520 CFM. REFER TO AS-01. CONNECT TO ELECTRICAL JUNCTION BOX OR OUTLET IN ATTIC. LOCATED WITHIN 20 FEET FROM FAN.
6	COVERED PORCH. SEE DETAILS E-12 AND E-13 / AS-01
7	ATTIC WALKWAY. REFER TO DETAIL VT-07 / AS-01
8	SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM. PROVIDE 3/4" PVC FASCIA AND SOFFIT WITH CONTINUOUS VENT PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT. REFER TO DETAIL AS-01
9	REPORT / REPAIR / REPLACE BRICK AS REQUIRED IN HATCHED AREAS, TYPICAL. MATCH NEW BRICK TO EXISTING, AS APPROVED BY ARCHITECT.
10	FURNISH AND INSTALL 5/8" OF V.F. FLOORING, MATCH COLOR OF ADJACENT TILES, AS APPROVED BY ARCHITECT.
11	1 HOUR RATED ATTIC PULL DOWN STAIR. MODIFY SIZE OF OPENINGS AS NECESSARY TO RECEIVE NEW PULLDOWN STAIR. BASIS OF DESIGN: KRAFT LMF 60. WITH WOOD LVL. P.W. TO MATCH CEILING. (W/ GRANGER KEVIN DIFFERENT LOCKING HASP, ITEM & MODEL #B99. STAIR MEASUREMENTS TO BE VERIFIED IN FIELD. PATCH AND PAINT CEILING.
12	PANITR INTERIOR DOOR AND FRAME WITH FLAME OFF FIRE BARRIER PANITR. PANITR COAT COVERAGE RATE OF 15 WET MILS.
13	LIGHT FIXTURE: PROVIDE ACCLAIM LIGHTING, LNA1 COLLECTION 3 LIGHT, 21" HIGH, PINEAPPLE OUTDOOR PENDANT.
14	PRIME AND PAINT 2 COATS COLUMNS AND TRIM - TYPICAL. COLOR BY ARCHITECT.
15	PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOWS, BOTH SASHES.
16	PROVIDE TEMPERED GLAZING, BOTH SASHES.
17	PROVIDE BRICK INFILL, TO MATCH EXISTING ADJACENT.
18	PROVIDE PILASTERS AT MASONRY WALL. REPLICATE FASCIA/CORNICE AT SAME HEIGHT SO THE EXISTING BRICK VENTILATION IS HIDDEN.
19	REMOVE 4" X 4" QUARRY FLOOR TILE INFILL AT REMOVED TILES. TO MATCH EXISTING ADJACENT.
20	REMOVE 4" X 4" QUARRY FLOOR TILE INFILL AT REMOVED TILES AND TRANSFORM WITH PVC TRIM TO MATCH EXISTING REMOVED. PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT.
21	PROVIDE / REPLACE REMOVED DOOR THRESHOLD WITH MAHOGANY THRESHOLD. PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT.
22	PROVIDE AND INSTALL ALUMINUM DECORATIVE RAILING, ANCHOR TO EXISTING STAIR WITH EPOXY ANCHORS - COLOR BY ARCHITECT. RAILING SCROLL TO MATCH EXISTING BUILDING 6 RAILING SCROLL.
23	REPAIR MASONRY STAIR.
24	REPORT BRICK EXTERIOR BUILDING - TYPICAL.
25	PROVIDE AND INSTALL EPOXY GROUT TO INFILL ALL PENETRATIONS OF REMOVED RAILING SYSTEM. COLOR TO MATCH TREDDING SURFACE.

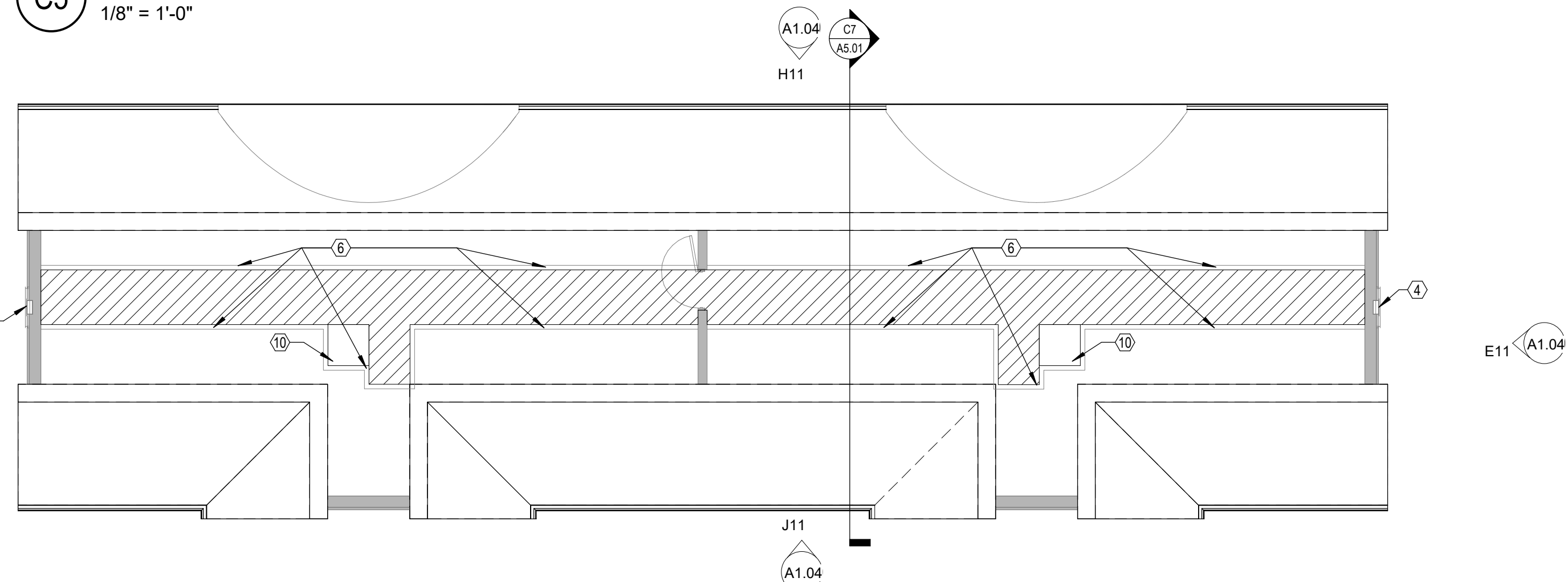
CONSTRUCTION KEY

REPOINT / REPAIR / REPLACE BRICK AS REQUIRED. NEW
BRICK FOR REPLACEMENT SHALL MATCH EXISTING
BRICK.

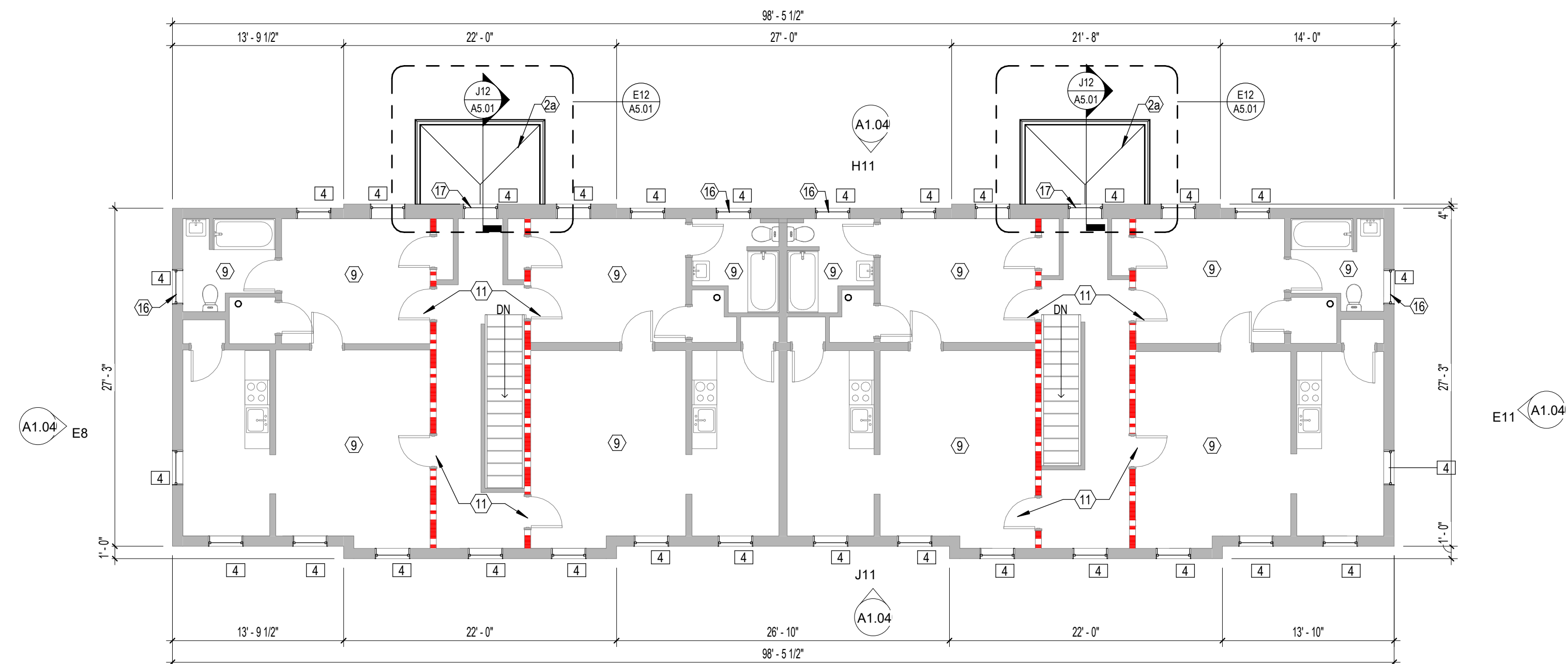
EXISTING WROUGHT IRON HANDRAIL TO BE REMOVED. REPLACE WITH DECORATIVE ALUMINUM HANDRAIL. REPAIR STEPS AND STONE MORTAR JOINTS AS NEEDED.



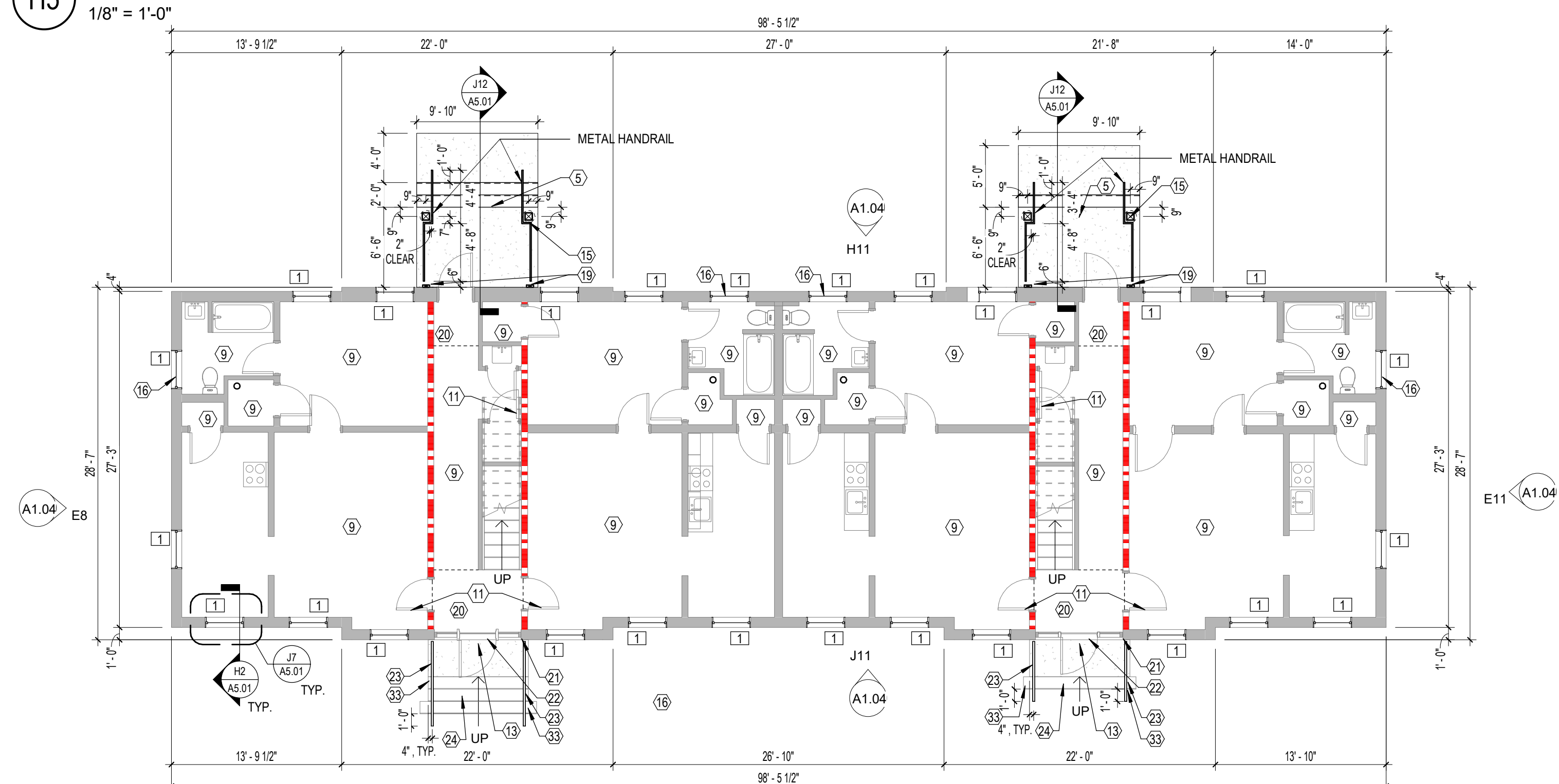
C5 BLDG 4 - ROOF PLAN
1/8" = 1'-0"



E5 **BLDG 4 - ATTIC PLAN**
1/8" = 1'-0"



H5 **BLDG 4 - 2ND FLOOR PLAN**
1/8" = 1'-0"



J5 BLDG 4 - 1ST FLOOR PLAN
1/8" = 1'-0"



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Client/ Contracto

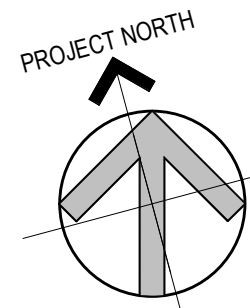
UNIVERSITY OF
RHODE ISLAND

KINGSTON, RI. 02881

Projec

**ROOF, WINDOW,
PORCHES
REPLACEMENT AND
EXTERIOR REPAIR**

GATEWAY APARTMENTS
BUILDING #4



Seal

CONSTRUCTION
DOCUMENTS



Issues / Revisions	
No.	Date
1	10/1/2018
2	10/1/2018
3	10/1/2018
4	10/1/2018
5	10/1/2018
6	10/1/2018
7	10/1/2018
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99	10/1/2018
100	10/1/2018

[illegible]

Drawing Title

BUILDING 4 PLANS AND ELEVATIONS

Project Manager:	MT	Project No:	URI-48-IN
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Project Architect:	JB	Production Leader:	JB
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Project Designer:	Peer Reviewer:	RA
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Drawing Number

A1.04

GENERAL NOTES - CONSTRUCTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL ROOF DECK CONDITIONS DISTURBED OR OTHERWISE IN NEED OF PATCHING AND REPAIRING PRIOR TO INSTALLATION OF ROOFING SYSTEM.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING, REPAIRING AND/OR CAULKING OF ALL EXISTING AND NEW ROOF DECK PENETRATIONS.
3. REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED FOR REUSE SHALL BE AT THE SOLE DISCRETION OF THE OWNER. MATERIALS WHICH DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS SHALL NOT BE USED.
4. PROVIDED BUILDING DIMENSIONS ARE +/- DIMENSIONS FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REPAIR ALL PLASTER, INCLUDING ALL CRACKING AND ANY AREAS THAT DO NOT PASS TESTING. ALL REPAIRS ARE TO MATCH EXISTING COLORS AS APPROVED BY ARCHITECT.
6. POWER WASH BUILDING EXTERIOR.
7. PROVIDE MORTAR TYPE "N" FOR REPOINTING, COLOR AND MIX TO MATCH EXISTING
8. PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOW, BOTH SASHES.

WINDOW SCHEDULE			
NUMBER	COUNT	WIDTH	HEIGHT
1	28	3' - 2"	5' - 4"
4	36	3' - 2"	5' - 7"
8	4	3' - 2"	6' - 10"

CONSTRUCTION KEY

REPOINT / REPAIR / REPLACE BRICK AS REQUIRED. NEW BRICK FOR REPLACEMENT SHALL MATCH EXISTING BRICK.

PAINT WOOD PIEDMENT BLACK

PROVIDE PVC TRIM AROUND DOOR TO MATCH EXISTING REMOVED. PAINT BLACK. REPAINT DOOR BLACK.

REPAIR STEPS AND STONE MORTAR JOINTS AS NEEDED.

KEYNOTES - CONSTRUCTION

- 1 WINDOW SYSTEM. PROVIDE MARVIN. ELEVATE COLLECTION. DOUBLE HUNG. FIBERGLASS EXTERIOR / WOOD INTERIOR WITH DOUBLE PANE LOW-E GLAZING WINDOWS AND INTERIOR TRIM. REFER TO DETAILS H2 AND J7 ON A5.01. CASING TO BE 2 1/2" COLONIAL WITH WOOD STOOL. PRIME AND PAINT 2 COATS INTERIOR WINDOW AND TRIM. COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
- 2 ARCHITECTURAL SHINGLES. CERTAINTED 40 YEAR - COLOR BY ARCHITECT. PROVIDE WINTERGUARD UNDERLAYMENT ENTIRE ROOF.
- 2a FULLY ADHERED EPDM ROOF WITH SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM. SEE SECTION DETAIL.
- 3 CONTINUOUS RIDGE VENT WITH CAP SHINGLES.
- 4 ATTIC EXHAUST FAN - PROVIDE GREENHECK FAN SDPE-D, WITH LOUVER PAINTED WHITE. INSECT SCREEN AND THERMOSTAT. EACH FAN SIZED FOR 520 CFM. REFER TO C7 / A5.01. CONNECT TO ELECTRICAL JUNCTION BOX OR OUTLET IN ATTIC. LOCATED WITHIN 20 FEET FROM FAN.
- 5 COVERED PORCH. SEE DETAILS E12 AND J12 / A5.01.
- 6 ATTIC WALKWAY. REFER TO DETAIL C7 / A5.01.
- 7 SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM. PROVIDE 3/4" PVC FASCIA AND SOFFIT WITH CONTINUOUS VENT PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT. REFER TO C7 / A5.01.
- 8 REPOINT / REPAIR / REPLACE BRICK AS REQUIRED IN HATCHED AREAS. TYPICAL. MATCH NEW BRICK TO EXISTING. AS APPROVED BY ARCHITECT.
- 9 PATCH VCT FLOORING. PROVIDE VCT TO MATCH COLOR OF ADJACENT TILES. AS APPROVED BY ARCHITECT.
- 10 1 HOUR RATED ATTIC PULL DOWN STAIR. MODIFY SIZE OF OPENINGS AS NECESSARY TO RECEIVE NEW PULLDOWN STAIR. BASIS OF DESIGN: FAKRO LMF 60. WITH WOOD TRIM LXL-W. PAINT TO MATCH CEILING. W/ GRAINGER KEYPED DIFFERENT LOCKING HASP. ITEM & MODEL #RBJ9. STAIR MEASUREMENTS TO BE VERIFIED IN FIELD. PATCH AND PAINT CEILING.
- 11 PAINT INTERIOR DOOR WITH FLAME OFF FIRE BARRIER PAINT. PAINT COVERAGE RATE OF 15 WET MILLS.
- 13 LIGHT FIXTURE. PROVIDE ACCLAIM LIGHTING. LANAI COLLECTION 2 LIGHT. 18" HIGH. PINEAPPLE OUTDOOR SCENE.
- 15 PRIME AND PAINT 2 COATS COLUMNS AND TRIM - TYPICAL. COLOR BY ARCHITECT.
- 16 PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOWS, BOTH SASHES.
- 17 PROVIDE TEMPERED GLAZING, BOTH SASHES.
- 19 PROVIDE PILASTERS AT MASONRY WALL. REPLICATE FASCIA/CORNICE AT SAME HEIGHT SO THE EXISTING BRICK PENETRATION IS HIDDEN.
- 20 PROVIDE 4" X 4" QUARRY FLOOR TILE INFILL AT REMOVED TILES. TO MATCH EXISTING ADJACENT.
- 21 PROVIDE / REPLACE REMOVED TRIM AT SIDES OF DOOR WITH PVC TRIM TO MATCH EXISTING REMOVED. PEDIMENT TO REMAIN. PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT.
- 23 PROVIDE AND INSTALL ALUMINUM DECORATIVE RAILING. ANCHOR TO EXISTING STAIR WITH EPOXY ANCHORS. COLOR BY ARCHITECT. RAILING SCROLL TO MATCH EXISTING BUILDING 6 RAILING SCROLL.
- 24 REPAIR MASONRY STAIR.
- 25 REPOINT BRICK ENTIRE BUILDING - TYPICAL.
- 26 SINGLE PLY EPDM ROOFING SYSTEM ON 1/2" DENS DECK COVER BOARD. 90 MILL FULLY ADHERED ROOFING SYSTEM. PROVIDE ALUMINUM DRIP EDGE AND EPDM FLASHING AT SINGLE TRANSITION 2" MINIMUM UP ROOF.
- 32 PROVIDE AND INSTALL SIDEWALK, NEW LOCATIONS SHOWN DASHED.
- 33 PROVIDE AND INSTALL EPOXY GROUT TO INFILL ALL PENETRATIONS OF REMOVED RAILING SYSTEM. COLOR TO MATCH TREAD/LANDING SURFACE.



PAINT WOOD PIEDMENT BLACK

PROVIDE PVC TRIM AROUND DOOR TO MATCH EXISTING REMOVED. PAINT BLACK. REPAINT DOOR BLACK.

STEPS TO BE REPAIRED.

BLDG 6 - ROOF PLAN

1/8" = 1'-0"

BLDG 6 - ATTIC PLAN

1/8" = 1'-0"

BLDG 6 - 2ND FLOOR PLAN

1/8" = 1'-0"

BLDG 6 - 1ST FLOOR PLAN

1/8" = 1'-0"

BLDG 6 - EAST ELEVATION

1/8" = 1'-0"

BLDG 6 - WEST ELEVATION

1/8" = 1'-0"

BLDG 6 - SOUTH ELEVATION

1/8" = 1'-0"

BLDG 6 - NORTH ELEVATION

1/8" = 1'-0"

Client/ Contractor

UNIVERSITY OF RHODE ISLAND

KINGSTON, RI. 02881

Project

ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

GATEWAY APARTMENTS BUILDING #6

Seals

CONSTRUCTION DOCUMENTS



Issues / Revisions

No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

Drawing Title

BUILDING 6 PLANS AND ELEVATIONS

Project Manager: MT Project No: URI-48-IN

Project Architect: JB Production Leader: JB

Project Designer: Peer Reviewer:

Drawing Number

A1.06

GENERAL NOTES - CONSTRUCTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL ROOF DECK CONDITIONS DISTURBED OR OTHERWISE IN NEED OF PATCHING AND REPAIRING PRIOR TO INSTALLATION OF ROOFING SYSTEM.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING, REPAIRING AND/OR CAULKING OF ALL EXISTING AND NEW ROOF DECK PENETRATIONS.
3. REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED FOR REUSE SHALL BE THE SOLE DISCRETION OF THE OWNER. MATERIALS WHICH DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS SHALL NOT BE USED.
4. PROVIDED BUILDING DIMENSIONS ARE +/- DIMENSIONS FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REPAIR ALL PLASTER, INCLUDING ALL CRACKING AND ANY AREAS THAT DO NOT PASS TESTING. ALL REPAIRS ARE TO MATCH EXISTING COLORS AS APPROVED BY ARCHITECT.
6. POWER WASH BUILDING EXTERIOR.
7. PROVIDE MORTAR TYPE "N" FOR REPOINTING, COLOR AND MIX TO MATCH EXISTING
8. PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOW, BOTH SASHES.

WINDOW SCHEDULE

NUMBER	COUNT	WIDTH	HEIGHT
9	4	3'-4"	5'-5 3/4"
10	1	6'-4"	5'-5 3/4"
11	2	4'-9 1/2"	2'-0"

KEYNOTES - CONSTRUCTION

1	WINDOW SYSTEM. PROVIDE MARVIN. ELEVATE COLLECTION. DOUBLE HUNG. FIBERGLASS EXTERIOR / WOOD INTERIOR WITH DOUBLE PANE LOW-E GLAZING WINDOWS AND INTERIOR TRIM. REFER TO DETAILS H2 AND J7 ON A5.01. CASING TO BE 2 1/2" COLONIAL WITH WOOD STOOL. PRIME AND PAINT 2 COATS INTERIOR WINDOW AND TRIM. COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
1a	WINDOW SYSTEM. PROVIDE MARVIN. ELEVATE COLLECTION. PICTURE. FIBERGLASS EXTERIOR / WOOD INTERIOR WITH DOUBLE PANE LOW-E GLAZING WINDOWS AND INTERIOR TRIM. REFER TO DETAILS H2 ON A5.02. CASING TO BE 2 1/2" COLONIAL WITH WOOD STOOL. PRIME AND PAINT 2 COATS INTERIOR WINDOW AND TRIM. COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
7a	PROVIDE AND INSTALL SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM WITH SPLASHBLOCK. REFER TO K3 / A5.02
8a	REPOINT / REPAIR / REPLACE BRICK AS REQUIRED FOR 200 S.F. PER HATCHED AREA, TYPICAL. MATCH NEW BRICK TO EXISTING, AS APPROVED BY ARCHITECT.
12	PROVIDE AND INSTALL FIBERGLASS DOOR AND FRAME IN EXISTING OPENING.
25	REPOINT BRICK ENTIRE BUILDING - TYPICAL.
26	PROVIDE AND INSTALL ALUMINUM FRAME WITH REMOVABLE SECURITY SCREEN OVER EXISTING GLAZING. SECURE FRAME TO EXISTING CONCRETE. FABRICATE SCREEN AROUND EXISTING PIPE PENETRATIONS. ALL PIPE PENETRATIONS TO REMAIN.
27	PROVIDE AND INSTALL DOOR SWEEP AND WEATHERSTRIPPING ON EXISTING DOOR AND FRAME.
28	REINSTALL SALVAGED LOUVER IN ORIGINAL LOCATION. PROVIDE AND INSTALL GREENHECK WC-4 AT DRYER VENT LOCATIONS(SIX), COLOR AS SELECTED BY ARCHITECT. VERIFY IF LOUVER HAS INSECT SCREEN AND PROVIDE/INSTALL INSECT SCREEN IF IT DOES NOT HAVE ONE.
29	PROVIDE AND INSTALL VERTICAL AZEK TRIM BOARD OVER SEAM OF AZEK SHEETS. SEE SECTION.
30	PREP. PRIME AND PAINT 2 COATS ON EXISTING HANDRAILS. COLOR BY ARCHITECT.
31	PREP EXISTING DOOR AND TRIM TO RECEIVE PAINT. PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT.

CONSTRUCTION LEGEND

- EXISTING ITEMS

NEW CONSTRUCTION
- HATCH DENOTES AREAS NOT IN CONTRACT

HATCH DENOTES MILLWORK
- VTR

VENT THROUGH ROOF
SEE DETAIL G8/A5.02
- EF

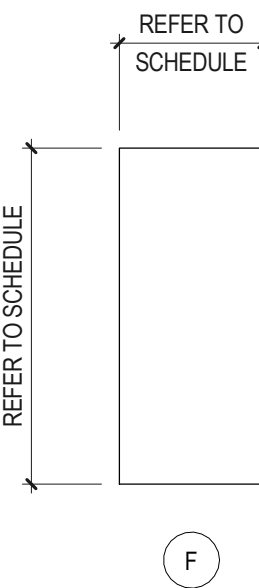
EXHAUST FAN ON CURB - REINSTALL EXHAUST FAN SALVAGED DURING DEMOLITION
SEE DETAIL G12/A5.02
- MH

MECHANICAL HOOD ON CURB - REINSTALL HOOD SALVAGED DURING DEMOLITION
SEE DETAIL G12/A5.02
- SLOPE
1/4" = 1'-0"

DIRECTION OF DRAINAGE
- TAPERED INSULATION ROOF CRICKET 1/2" - 1'-0" SLOPE

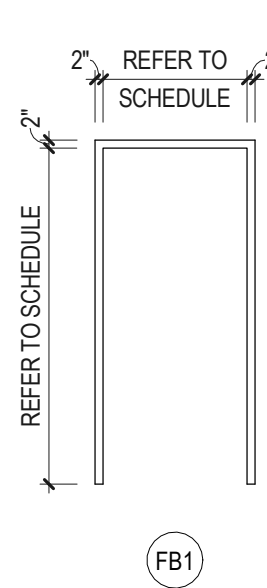
DOOR AND FRAME SCHEDULE

DOOR NUMBER	DOOR							FRAME							HARDWARE LOCKSET / LATCHSET	DOOR NUMBER	REMARKS
	SIZE			DESCRIPTION				DESCRIPTION			DETAILS						
	LEAF QUANTITY	OPENING WIDTH	HEIGHT	TYPE - PANEL 1	MATERIAL	FINISH	UNDERCUT	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL				
BASEMENT																	
02	1	3'-0"	5'-0"	F	FBGS	FBGS	1/4"	FB1	FBGS	FBGS				1	02	FIELD VERIFY OPENING HEIGHT AND WIDTH	
E-01	1	3'-0"	6'-8"	F	EXIST	EXIST	1/4"	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2	E-01	FIELD VERIFY OPENING HEIGHT AND WIDTH	



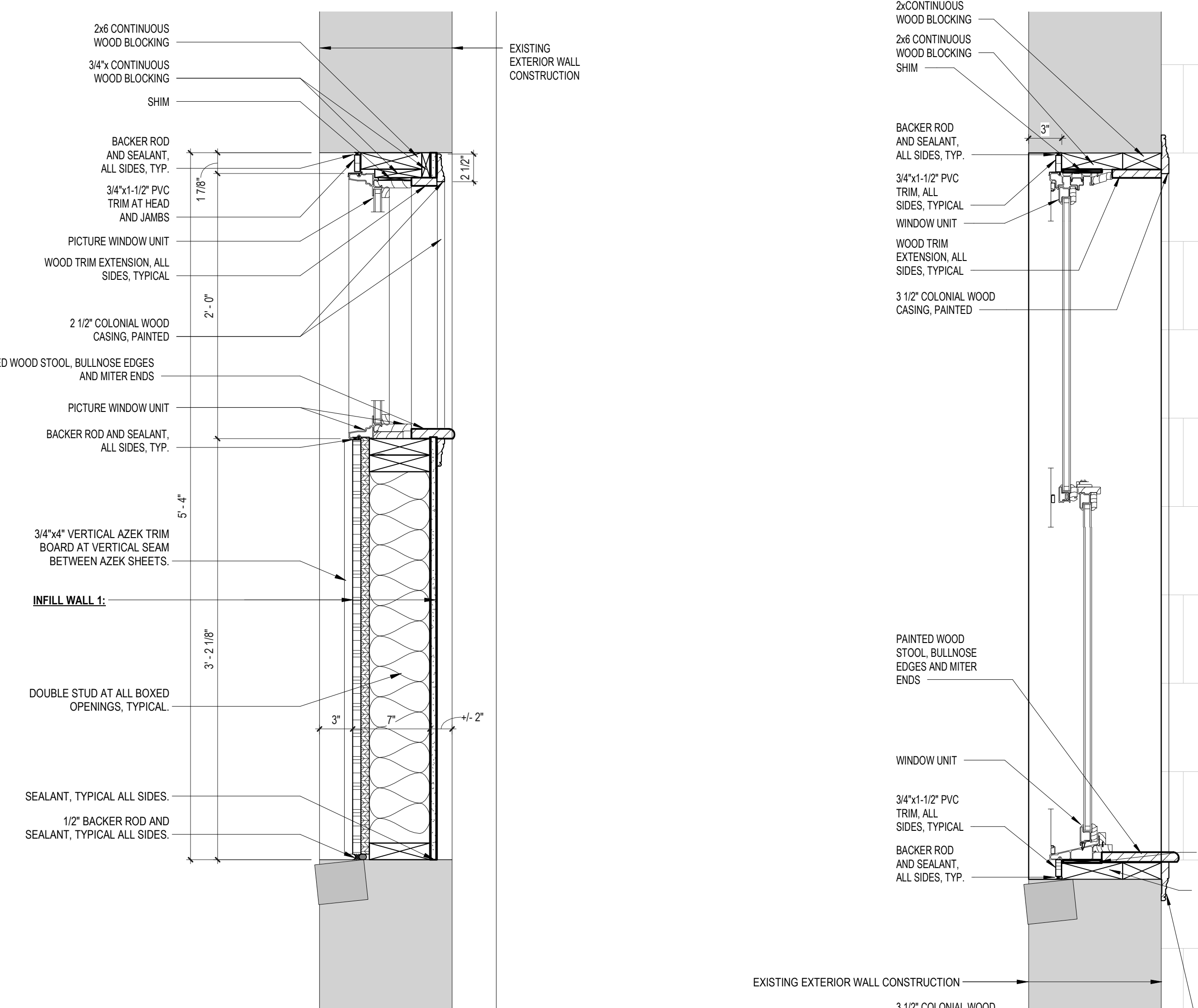
FIBERGLASS DOOR TYPES

1/4" = 1'-0"



FIBERGLASS FRAME TYPES

1/4" = 1'-0"

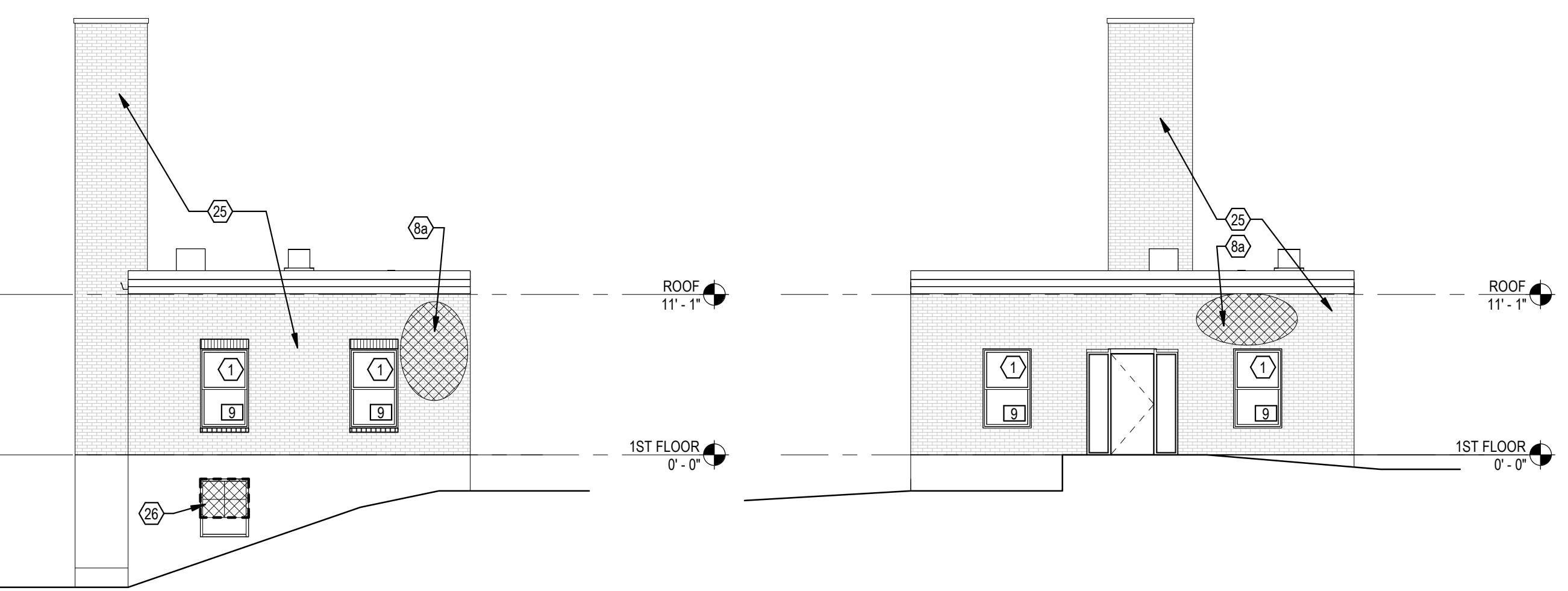


H12 WALL SECTION @ PICTURE WINDOW

1 1/2" = 1'-0"

H10 WALL SECTION @ DOUBLE HUNG

1 1/2" = 1'-0"

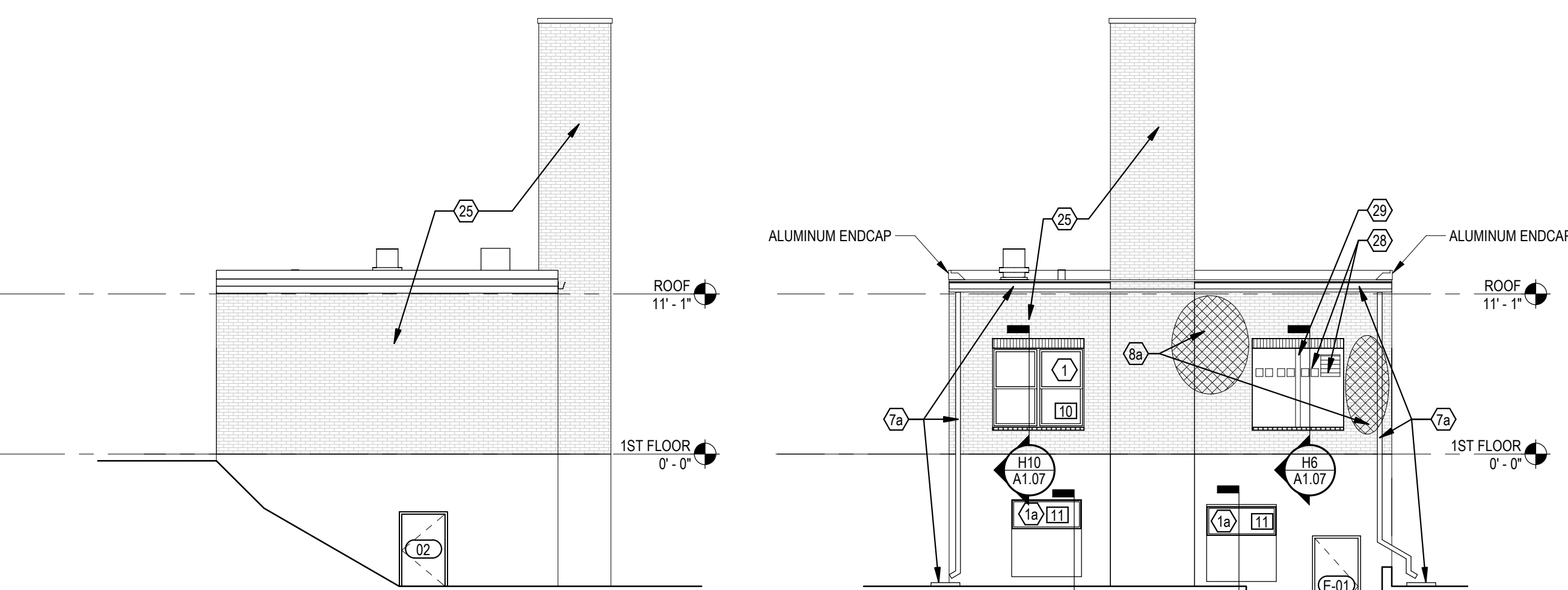


K12 BLDG 7 - SOUTH ELEVATION

1/8" = 1'-0"

K10 BLDG 7 - EAST ELEVATION

1/8" = 1'-0"

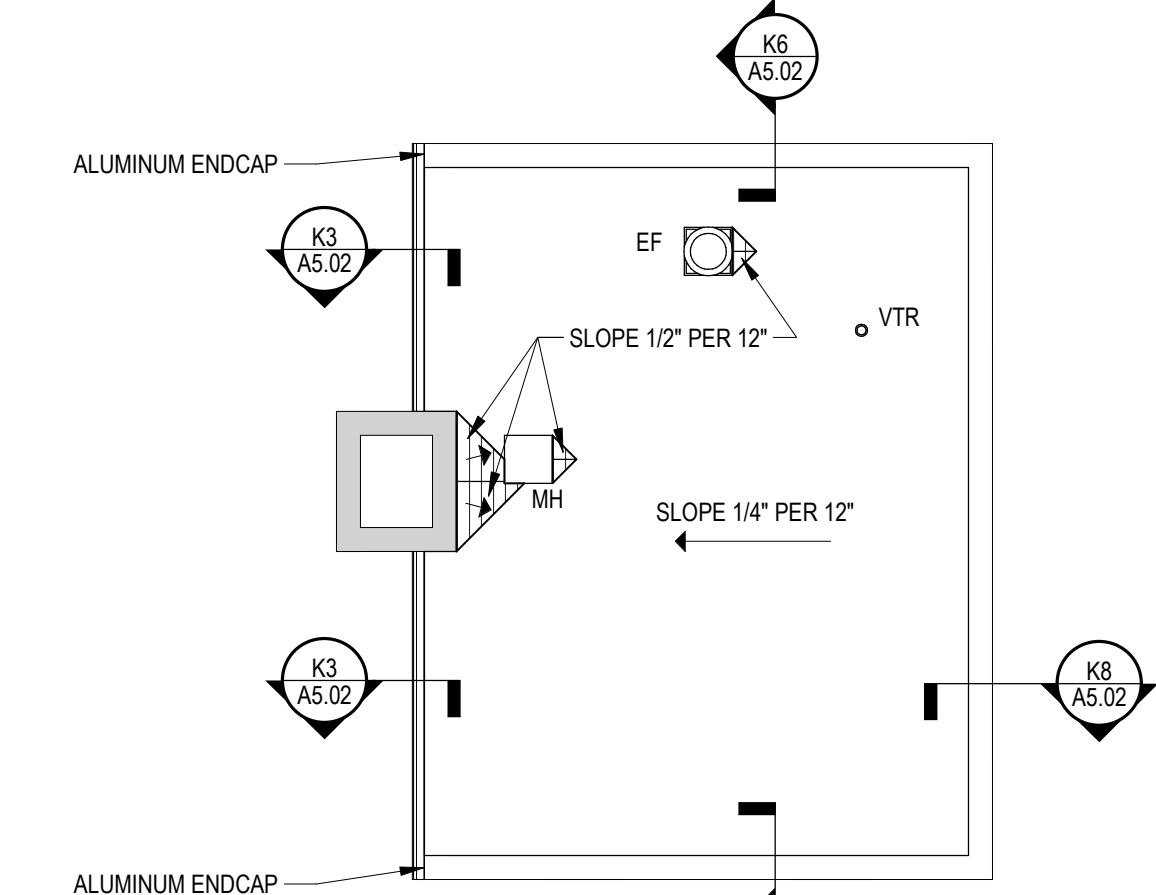


K8 BLDG 7 - NORTH ELEVATION

1/8" = 1'-0"

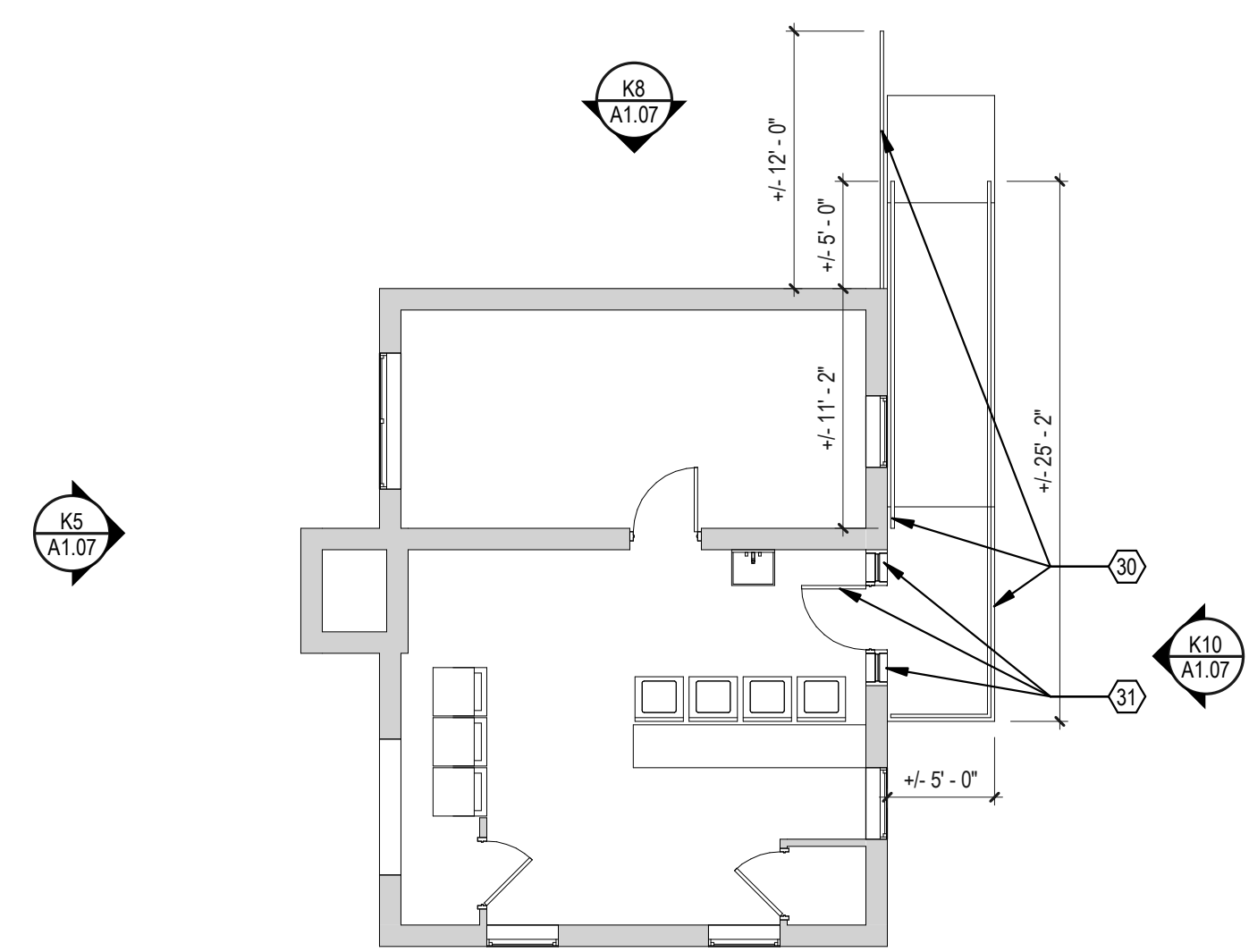
K5 BLDG 7 - WEST ELEVATION

1/8" = 1'-0"



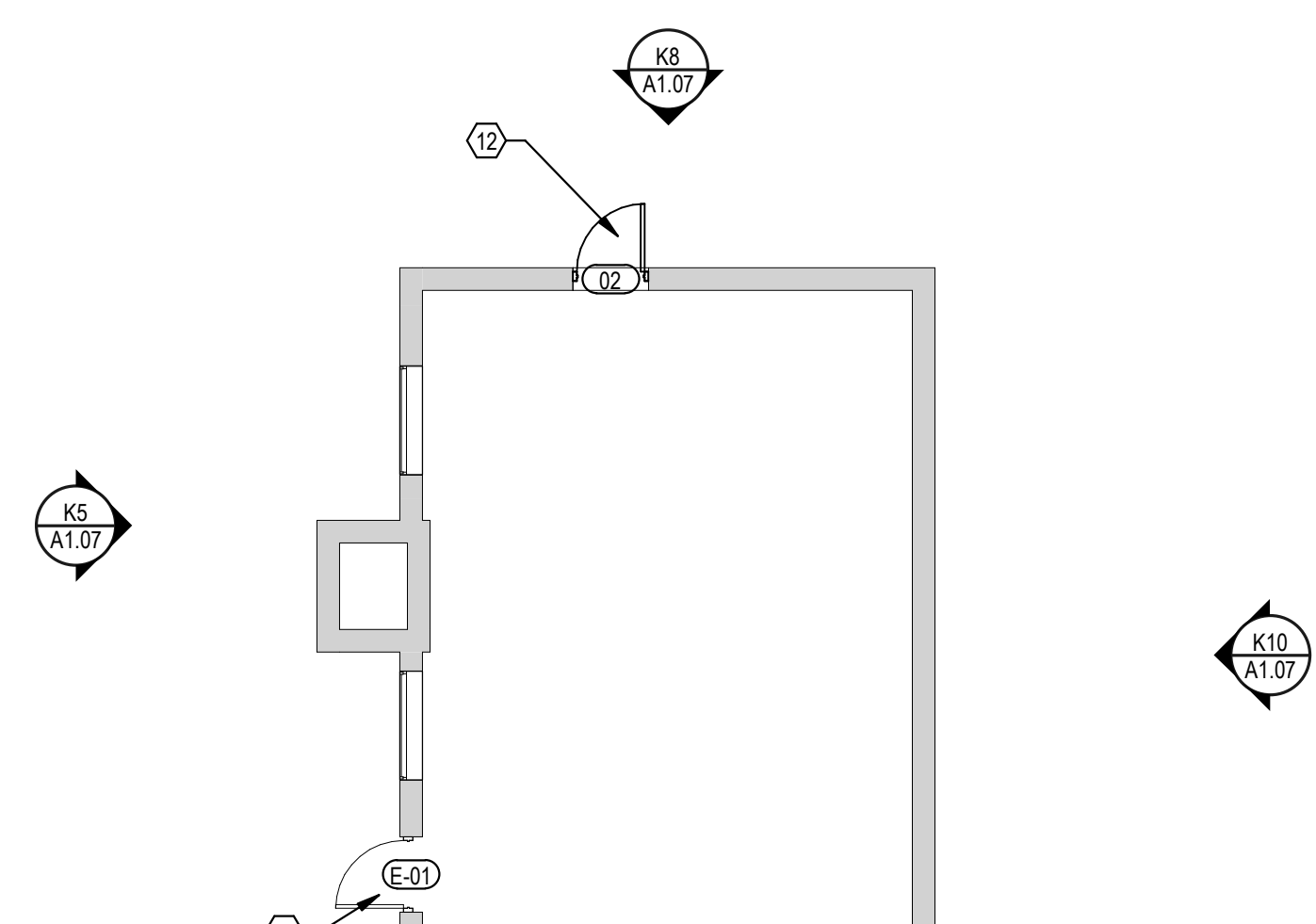
E3 BLDG 7 - ROOF PLAN

1/8" = 1'-0"



H3 BLDG 7 - 1ST FLOOR PLAN

1/8" = 1'-0"



K3 BLDG 7 - BASEMENT PLAN

1/8" = 1'-0"



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UNIVERSITY OF RHODE ISLAND

KINGSTON, RI. 02881

Project

ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

GATEWAY APARTMENTS BUILDING #7

Seals

CONSTRUCTION DOCUMENTS



Issues / Revisions

No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

Drawing Title

BUILDING 7 PLANS, ELEVATIONS AND DETAILS

Project Manager: MT Project No: URI-48-N

Project Architect: JB Production Leader: JB

Project Designer: Peer Reviewer:

Drawing Number

A1.07

GENERAL NOTES - CONSTRUCTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL ROOF DECK CONDITIONS DISTURBED OR OTHERWISE IN NEED OF PATCHING AND REPAIRING PRIOR TO INSTALLATION OF ROOFING SYSTEM.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING, REPAIRING AND/OR CAULKING OF ALL EXISTING AND NEW ROOF DECK PENETRATIONS.
3. REUSE OF SALVAGED MATERIALS, NOT SPECIFICALLY SCHEDULED FOR REUSE SHALL BE AT THE SOLE DISCRETION OF THE OWNER. MATERIALS WHICH DO NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS SHALL NOT BE USED.
4. PROVIDED BUILDING DIMENSIONS ARE +/- DIMENSIONS FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REPAIR ALL PLASTER, INCLUDING ALL CRACKING AND ANY AREAS THAT DO NOT PASS TESTING. ALL REPAIRS ARE TO MATCH EXISTING COLORS AS APPROVED BY ARCHITECT.
6. POWER WASH BUILDING EXTERIOR.
7. PROVIDE MORTAR TYPE "N" FOR REPOINTING, COLOR AND MIX TO MATCH EXISTING
8. PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOW, BOTH SASHES.

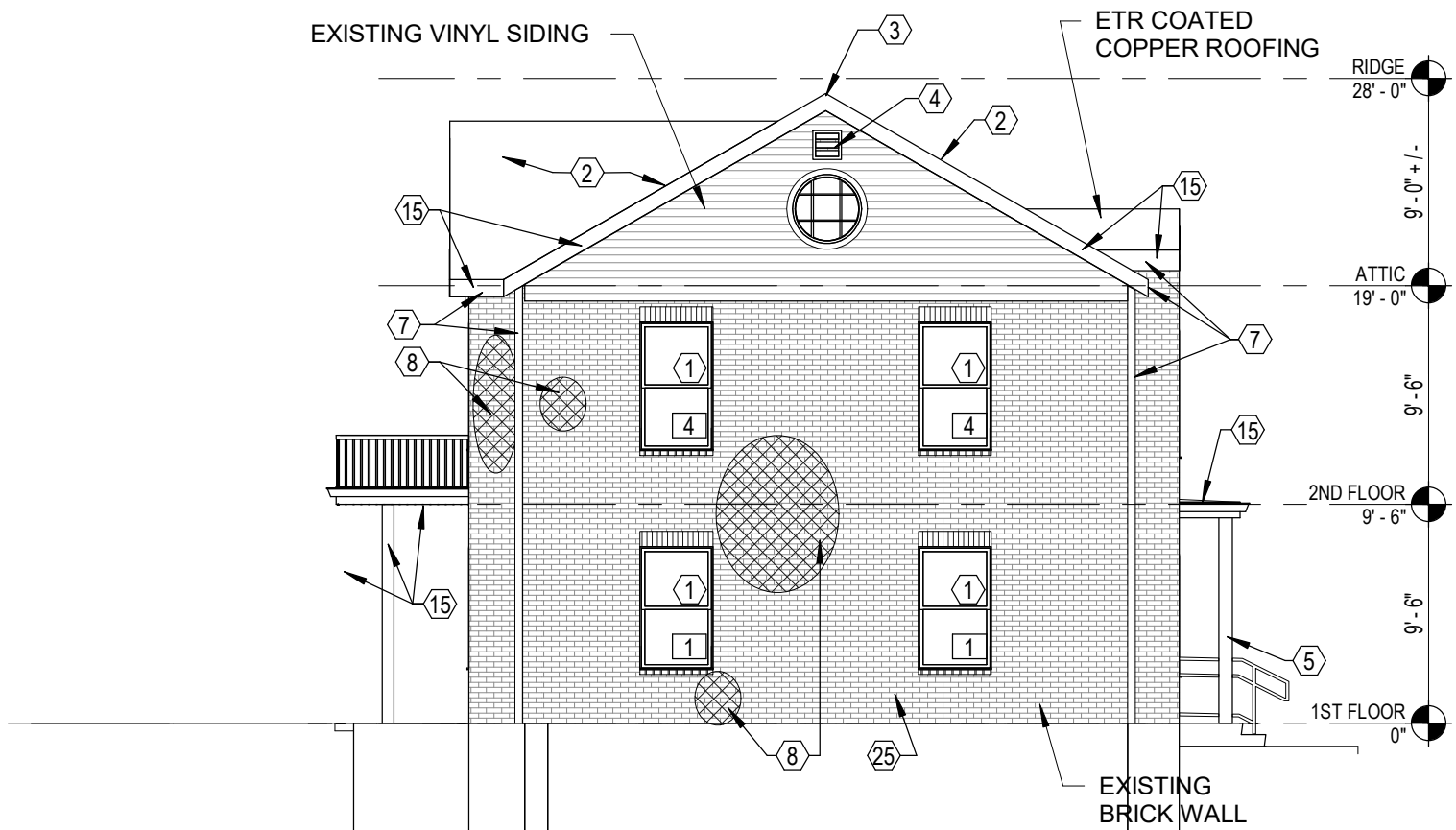
WINDOW SCHEDULE			
NUMBER	COUNT	WIDTH	HEIGHT
1	20	3' - 2"	5' - 4"
4	21	3' - 2"	5' - 7"
12	4	3' - 2"	4' - 0"

KEYNOTES - CONSTRUCTION

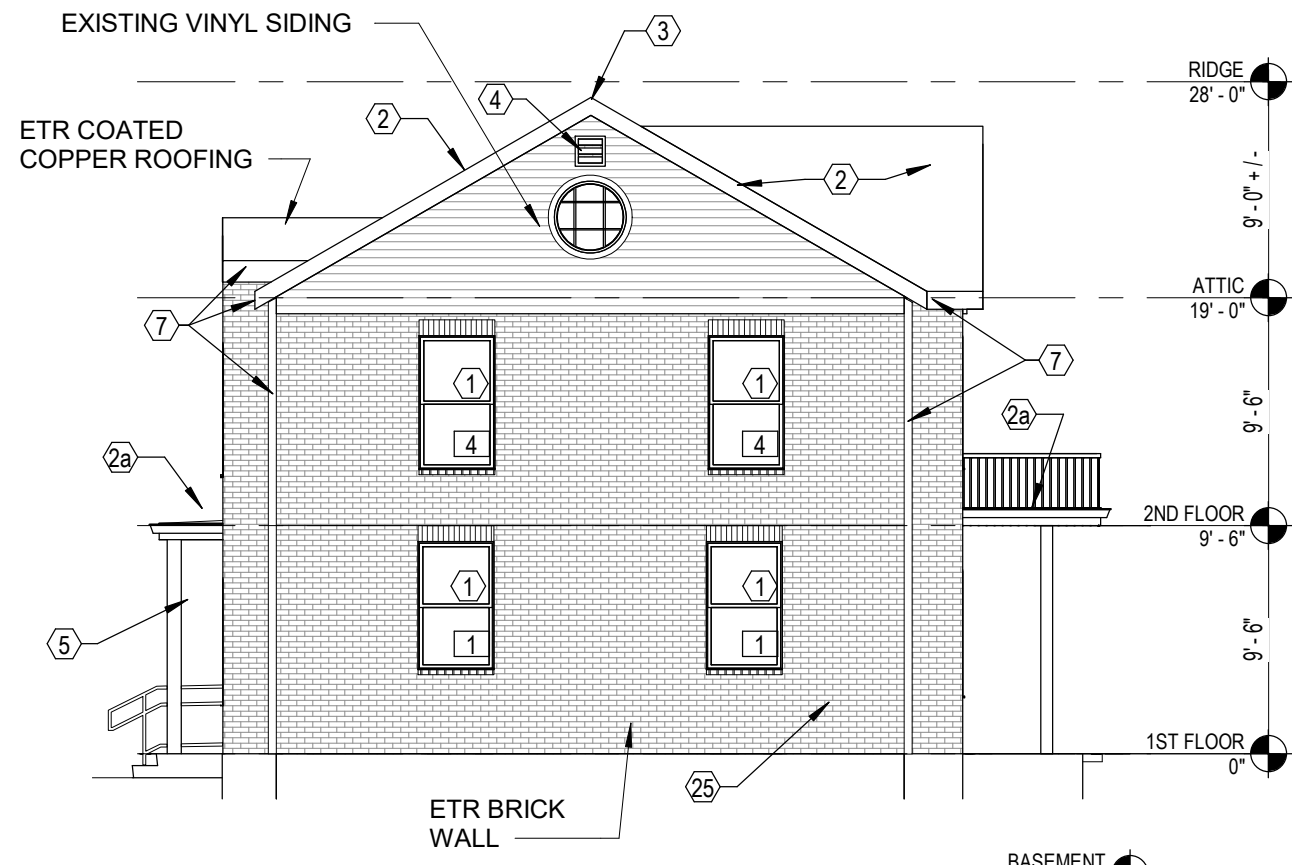
- 1 WINDOW SYSTEM. PROVIDE MARVIN. ELEVATE COLLECTION. DOUBLE HUNG. FIBERGLASS EXTERIOR / WOOD INTERIOR WITH DOUBLE PANE LOW-E GLAZING WINDOWS AND INTERIOR TRIM. REFER TO DETAILS H2 AND J7 ON A5.01. CASING TO BE 2 1/2" COLONIAL WITH WOOD STOOL. PRIME AND PAINT 2 COATS INTERIOR WINDOW AND TRIM. COLOR BY ARCHITECT. REFER TO WINDOW SCHEDULE FOR SIZE.
- 2 ARCHITECTURAL SHINGLES. CERTAINTEN 40 YEAR - COLOR BY ARCHITECT. PROVIDE WINTERGUARD UNDERLAYMENT ENTIRE ROOF.
- 2a FULLY ADHERED EPDM ROOF. SEE SECTION DETAIL.
- 3 CONTINUOUS RIDGE VENT WITH CAP SHINGLES.
- 4 ATTIC EXHAUST FAN - PROVIDE GREENHECK FAN SDPE-D, WITH LOUVER PAINTED WHITE, INSECT SCREEN AND THERMOSTAT. EACH FAN SIZED FOR 520 CFM. REFER TO C7 / A5.01. CONNECT TO ELECTRICAL JUNCTION BOX OR OUTLET IN ATTIC. LOCATED WITHIN 20 FEET FROM FAN.
- 5 COVERED PORCH. SEE DETAILS E12 AND J12 / A5.01
- 6 ATTIC WALKWAY. REFER TO DETAIL C7 / A5.01.
- 7 SEAMLESS ALUMINUM GUTTER AND DOWNSPOUT SYSTEM. PROVIDE 3/4" PVC FASCIA AND SOFFIT WITH CONTINUOUS VENT PRIME AND PAINT 2 COATS. COLOR BY ARCHITECT. REFER TO C7 / A5.01
- 8 REPOINT / REPAIR / REPLACE BRICK AS REQUIRED IN HATCHED AREAS. TYPICAL. MATCH NEW BRICK TO EXISTING. AS APPROVED BY ARCHITECT.
- 9 PATCH VCT FLOORING. PROVIDE VCT TO MATCH COLOR OF ADJACENT TILES. AS APPROVED BY ARCHITECT.
- 10 1 HOUR RATED ATTIC PULL DOWN STAIR. MODIFY SIZE OF OPENINGS AS NECESSARY TO RECEIVE NEW PULLDOWN STAIR. BASIS OF DESIGN: FAKRO LMF 60. WITH WOOD TRIM LXL-W. PAINT TO MATCH CEILING. W/ GRAINGER KEYED DIFFERENT LOCKING HASP. ITEM & MODEL #1RBJ9. STAIR MEASUREMENTS TO BE VERIFIED IN FIELD. PATCH AND PAINT CEILING.
- 11 PAINT INTERIOR DOOR WITH FLAME OFF FIRE BARRIER PAINT. PAINT COVERAGE RATE OF 15 WET MILLS.
- 15 PRIME AND PAINT 2 COATS COLUMNS AND TRIM. TYPICAL. COLOR BY ARCHITECT.
- 16 PROVIDE TEMPERED AND ETCHED GLAZING AT ALL BATHROOM WINDOWS. BOTH SASHES.
- 19 PROVIDE FASCIA/CORNICHE AT MASONRY WALL. REPLICATE FASCIA/CORNICHE AT SAME HEIGHT SO THE EXISTING BRICK PENETRATION IS HIDDEN.
- 20 PROVIDE 4" X 4" QUARRY FLOOR TILE INFILL AT REMOVED TILES. TO MATCH EXISTING ADJACENT.
- 25 REPOINT BRICK ENTIRE BUILDING. TYPICAL
- 30 PREP, PRIME AND PAINT 2 COATS ON EXISTING HANDRAILS. COLOR BY ARCHITECT.
- 34 REFER TO DETAIL H12/A1.08 FOR CONCRETE REPAIR AT BOTTOM STEP AT EXPOSED REBAR.

CONSTRUCTION KEY

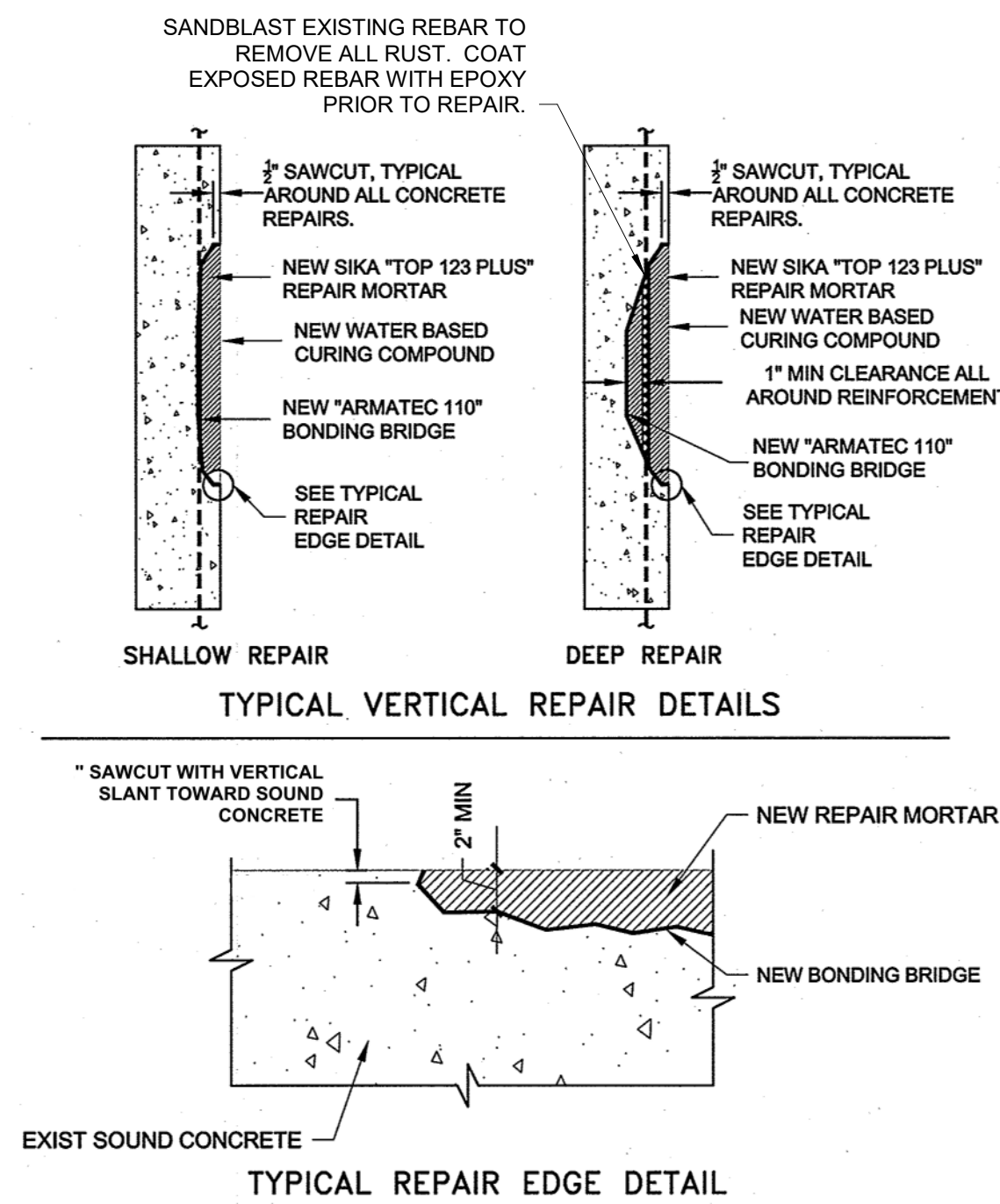
REPOINT / REPAIR / REPLACE BRICK AS REQUIRED. NEW BRICK FOR REPLACEMENT SHALL MATCH EXISTING BRICK.



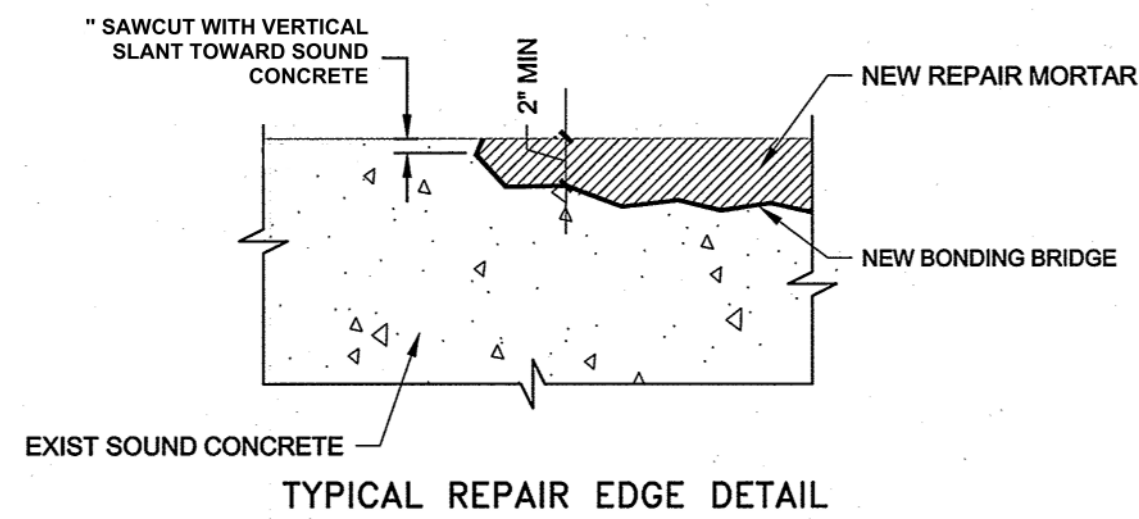
E10 BLDG 8 - SOUTH ELEVATION
1/8" = 1'-0"



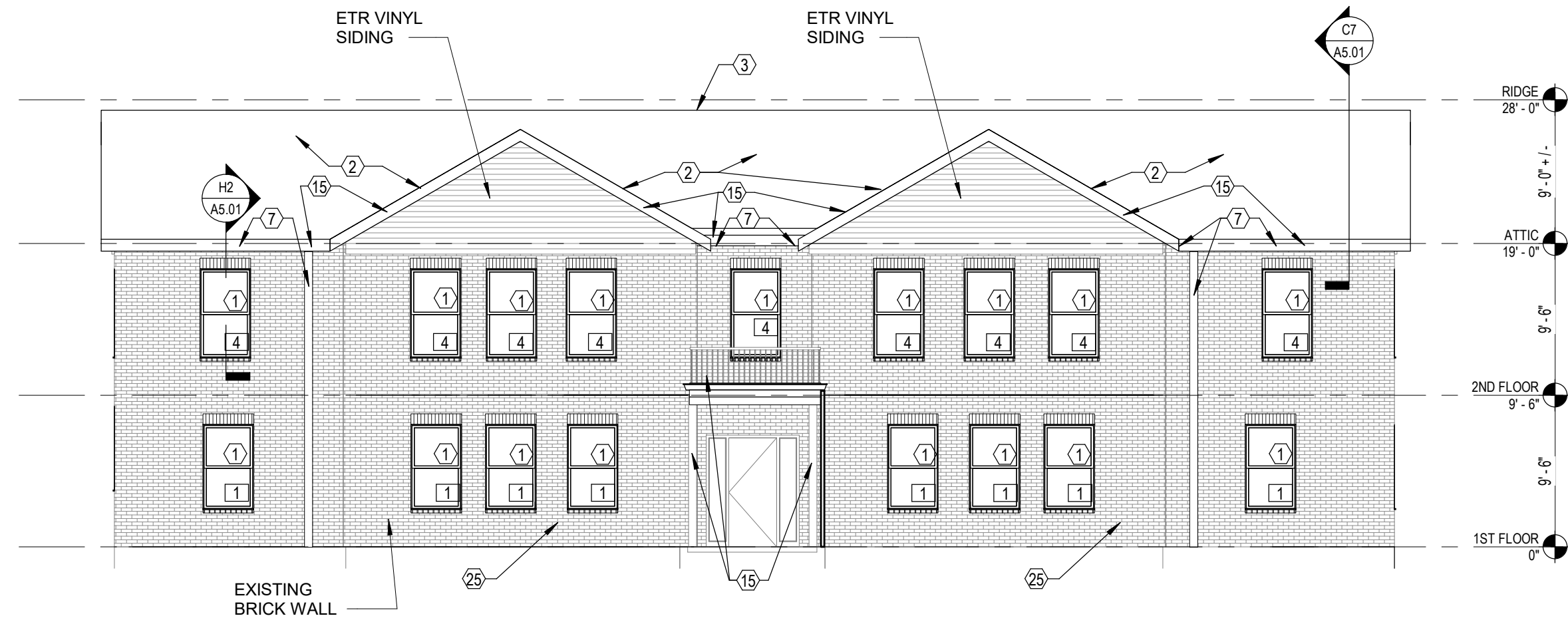
E8 BLDG 8 - NORTH ELEVATION
1/8" = 1'-0"



TYPICAL VERTICAL REPAIR DETAILS



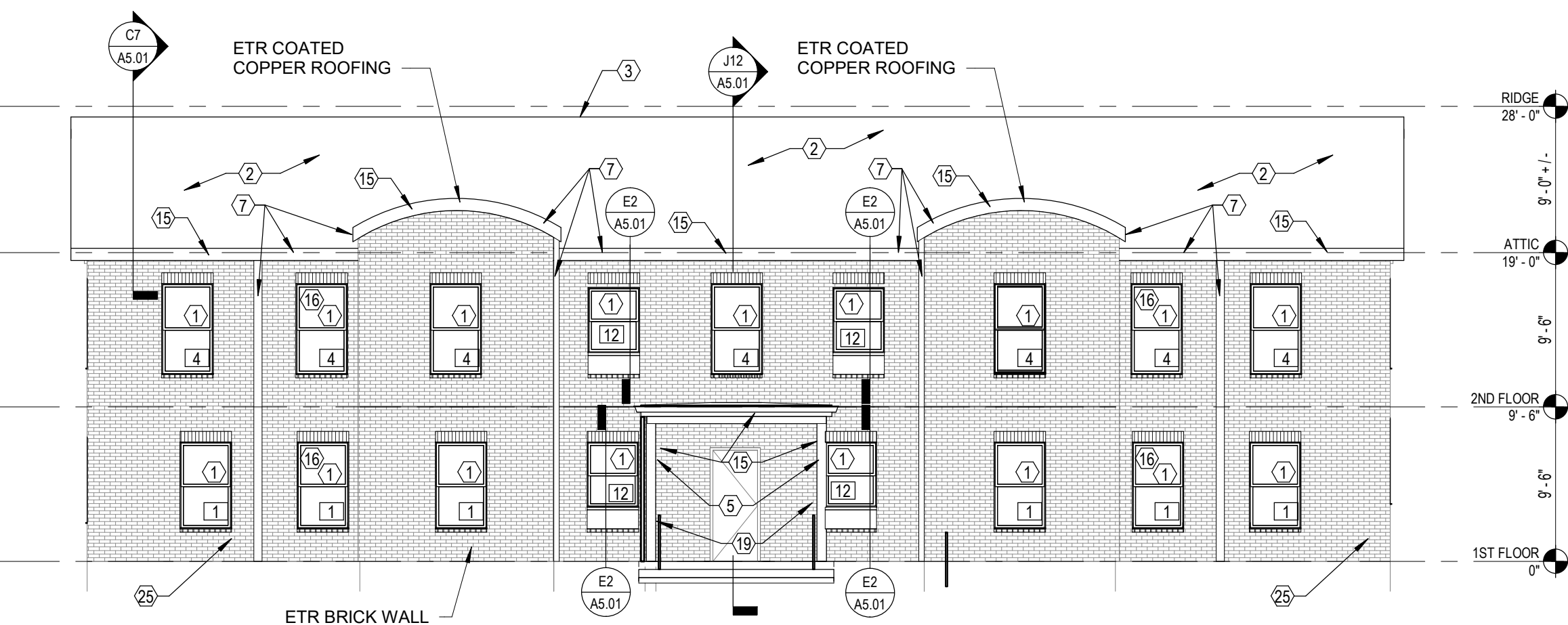
TYPICAL REPAIR EDGE DETAIL



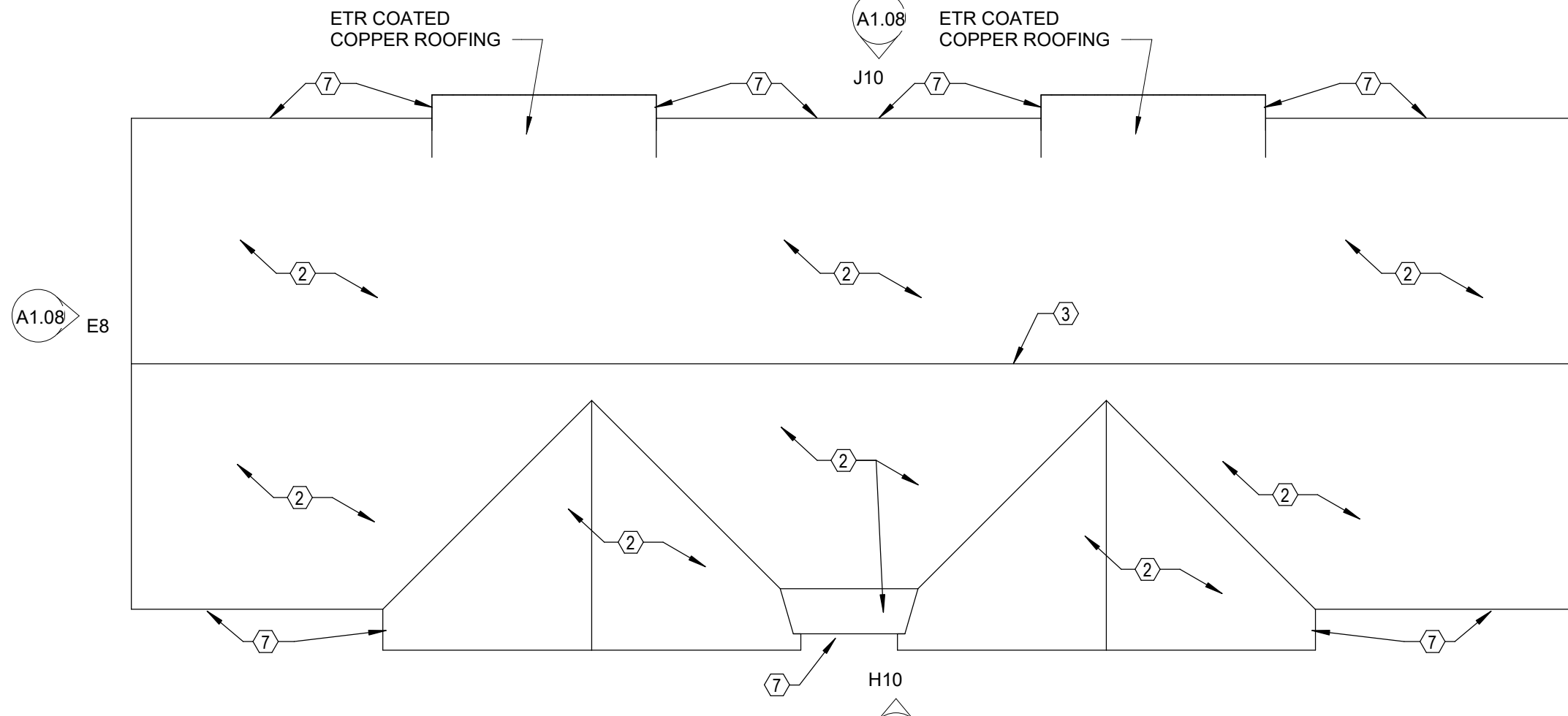
H10 BLDG 8 - WEST ELEVATION
1/8" = 1'-0"



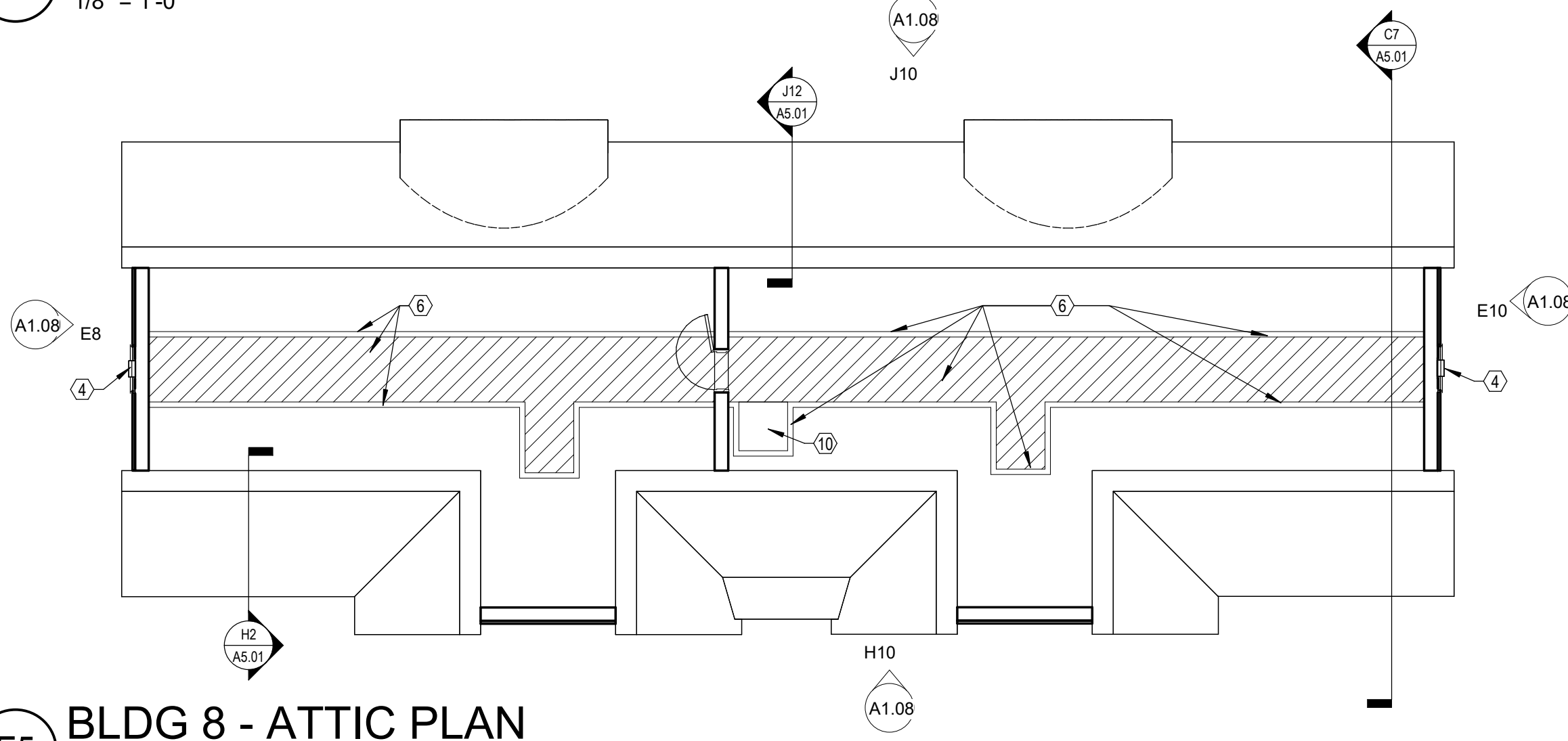
WEST ELEVATION - EXISTING RAILINGS



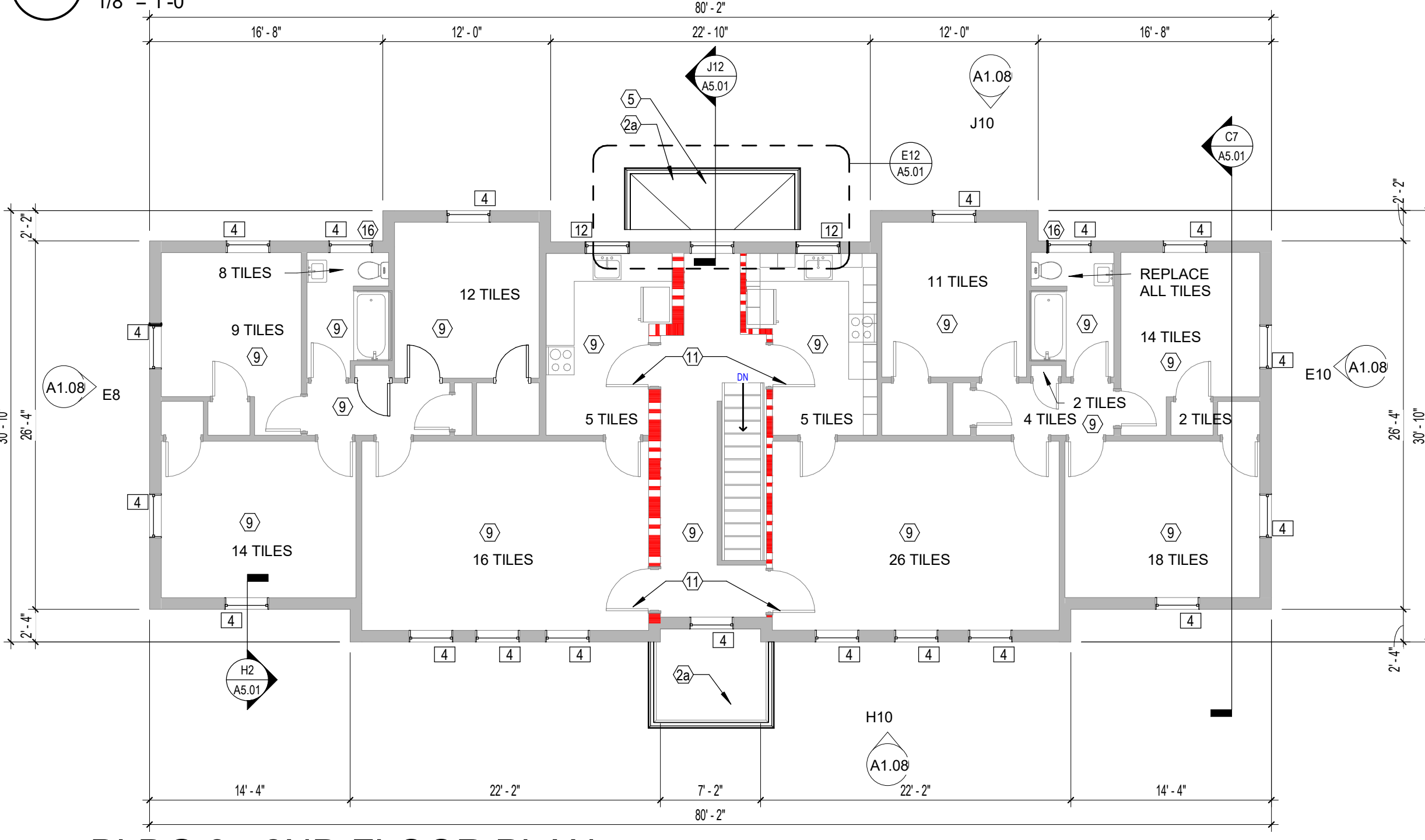
J10 BLDG 8 - EAST ELEVATION
1/8" = 1'-0"



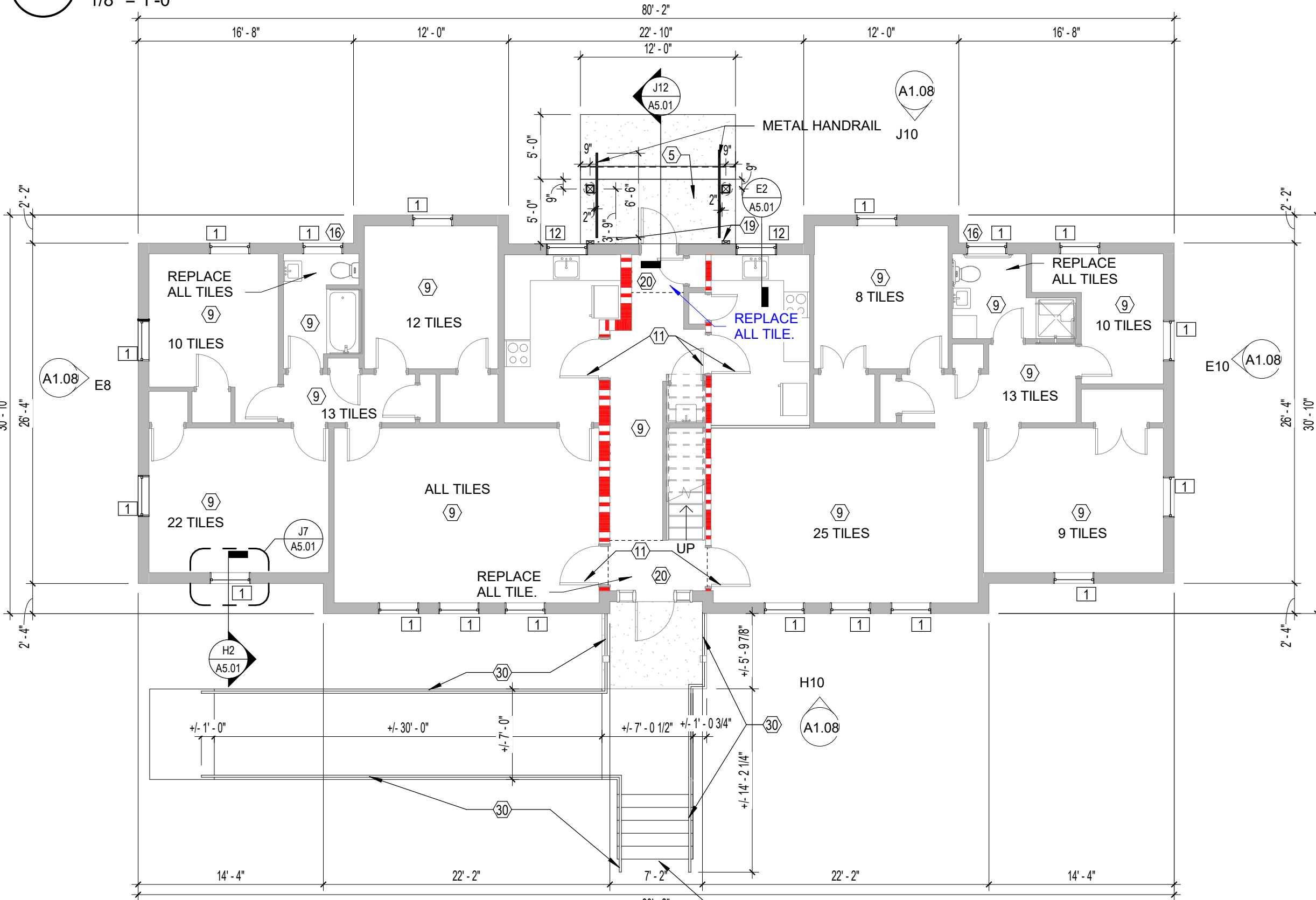
B5 BLDG 8 - ROOF PLAN
1/8" = 1'-0"



E5 BLDG 8 - ATTIC PLAN
1/8" = 1'-0"



G5 BLDG 8 - 2ND FLOOR PLAN
1/8" = 1'-0"



J5 BLDG 8 - 1ST FLOOR PLAN
1/8" = 1'-0"



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Project
ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR

GATEWAY APARTMENTS BUILDING #8

Seals
CONSTRUCTION DOCUMENTS



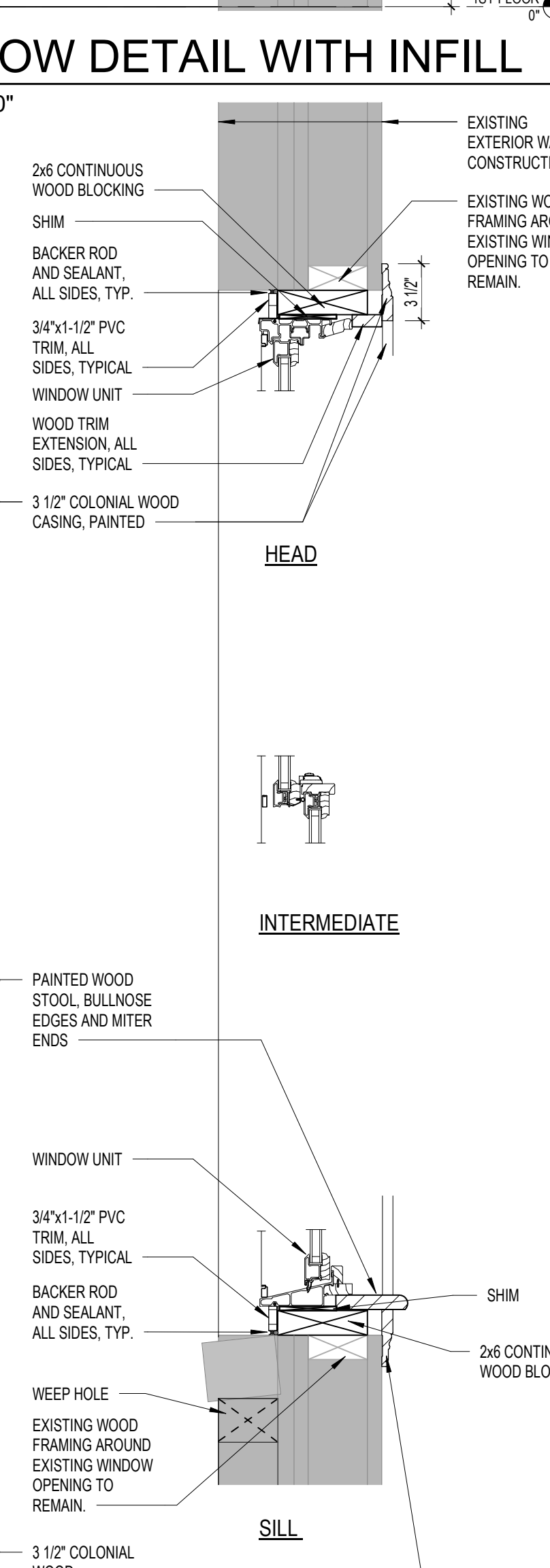
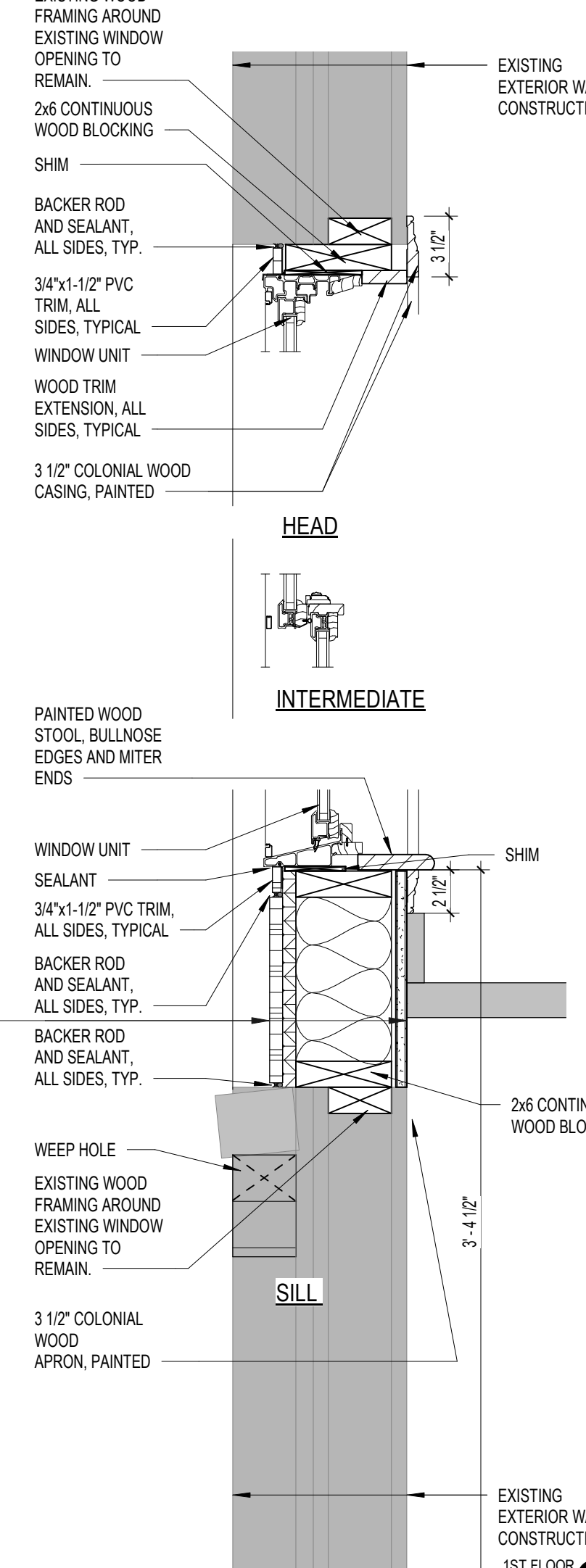
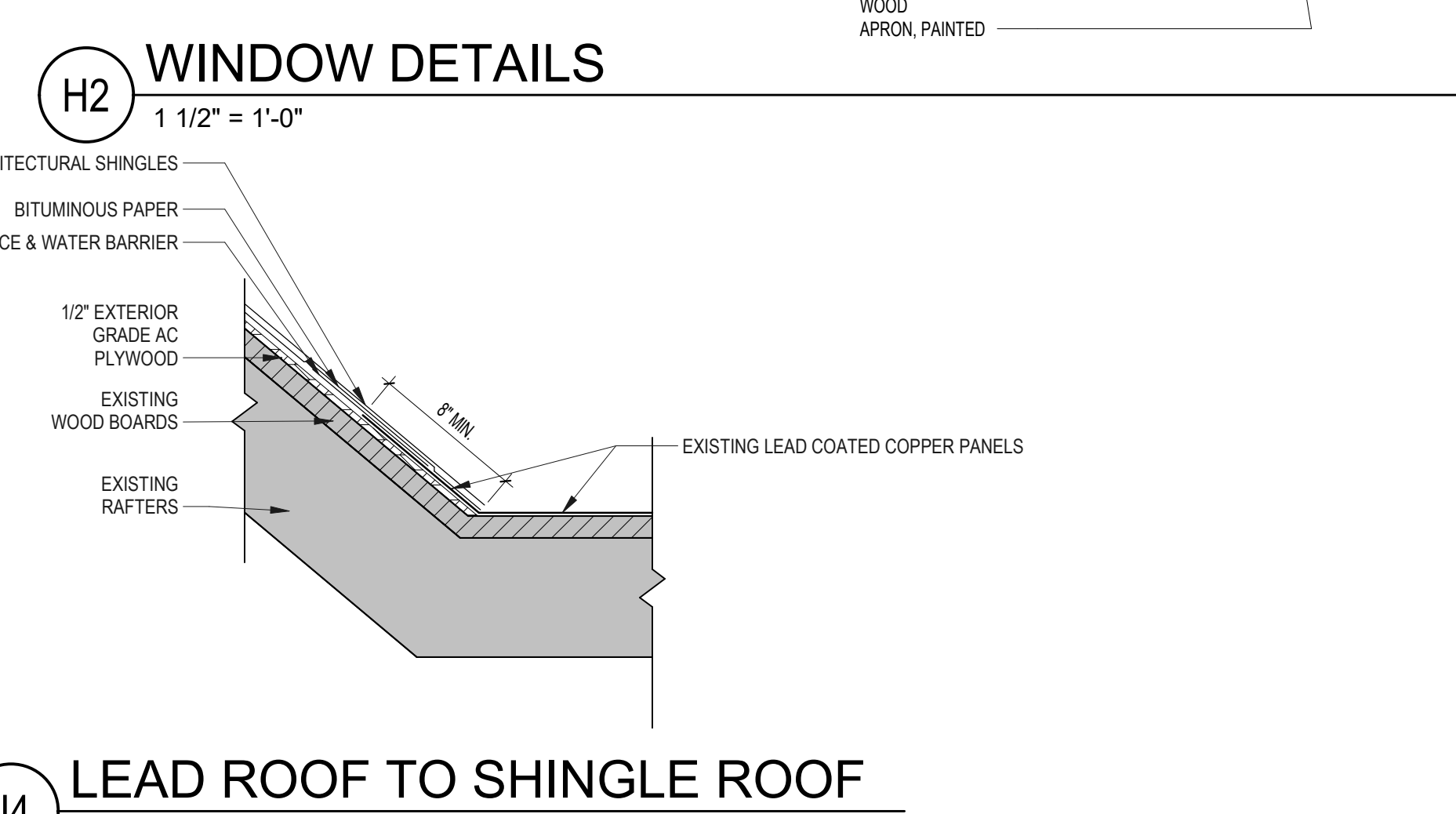
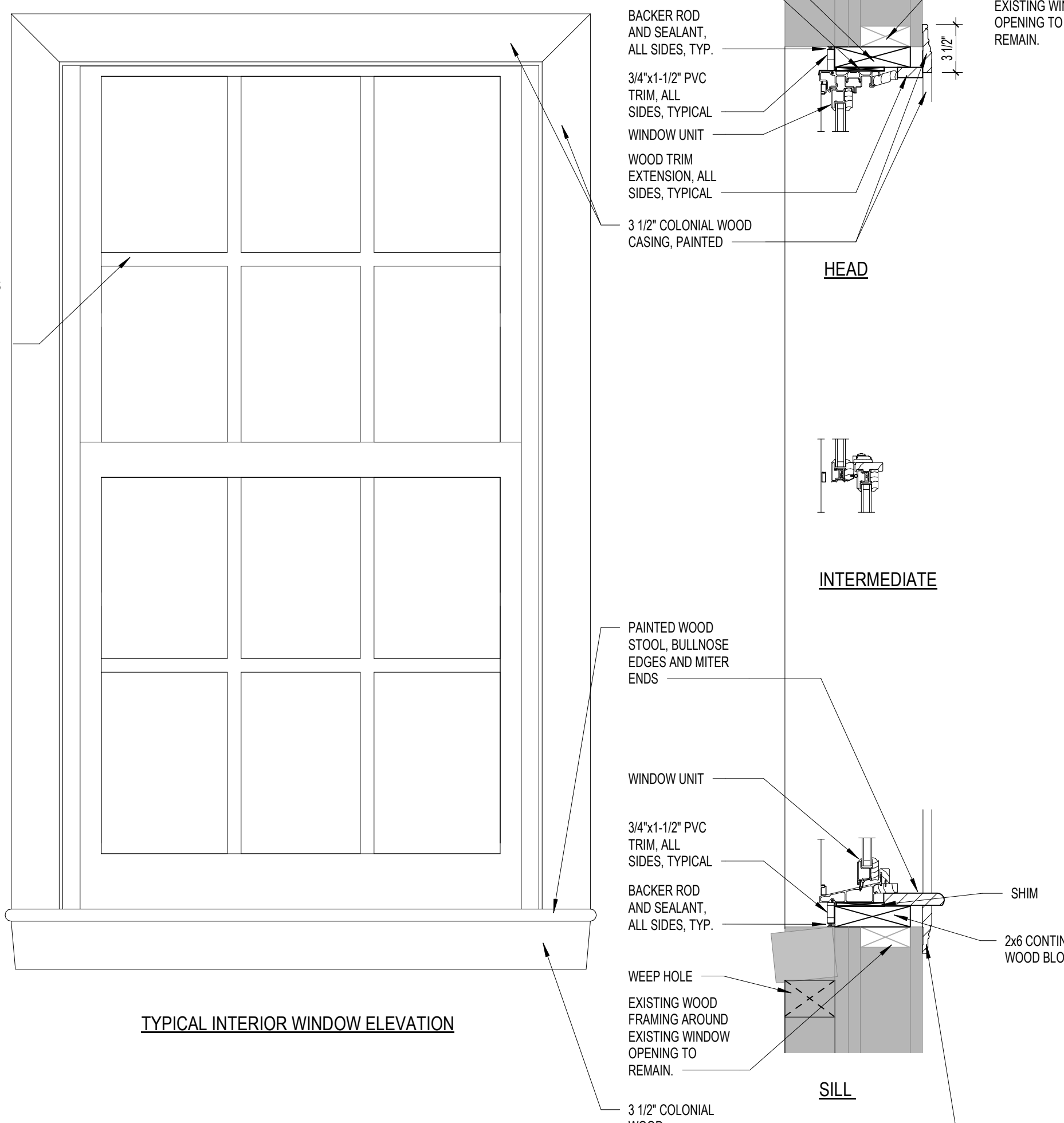
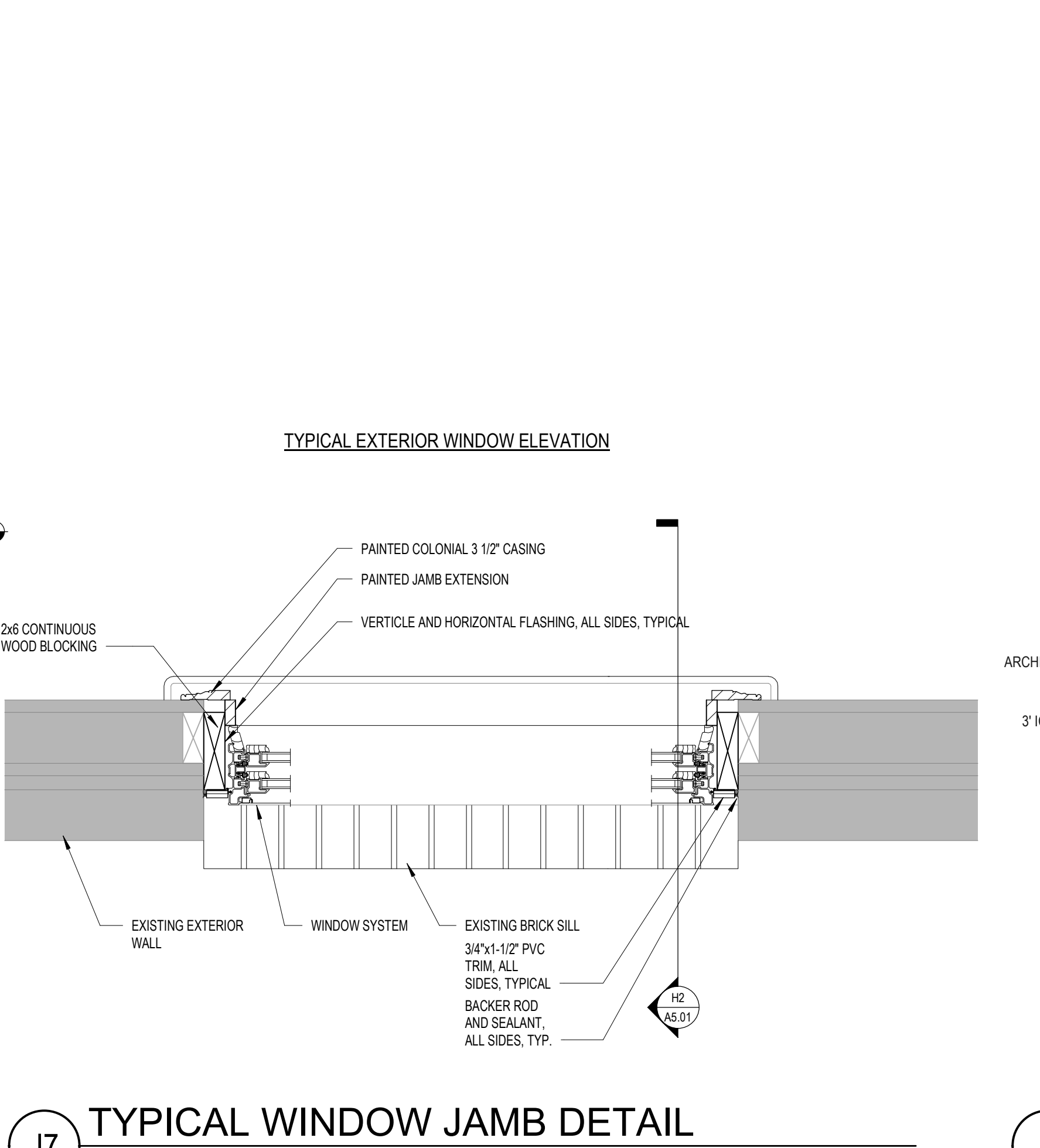
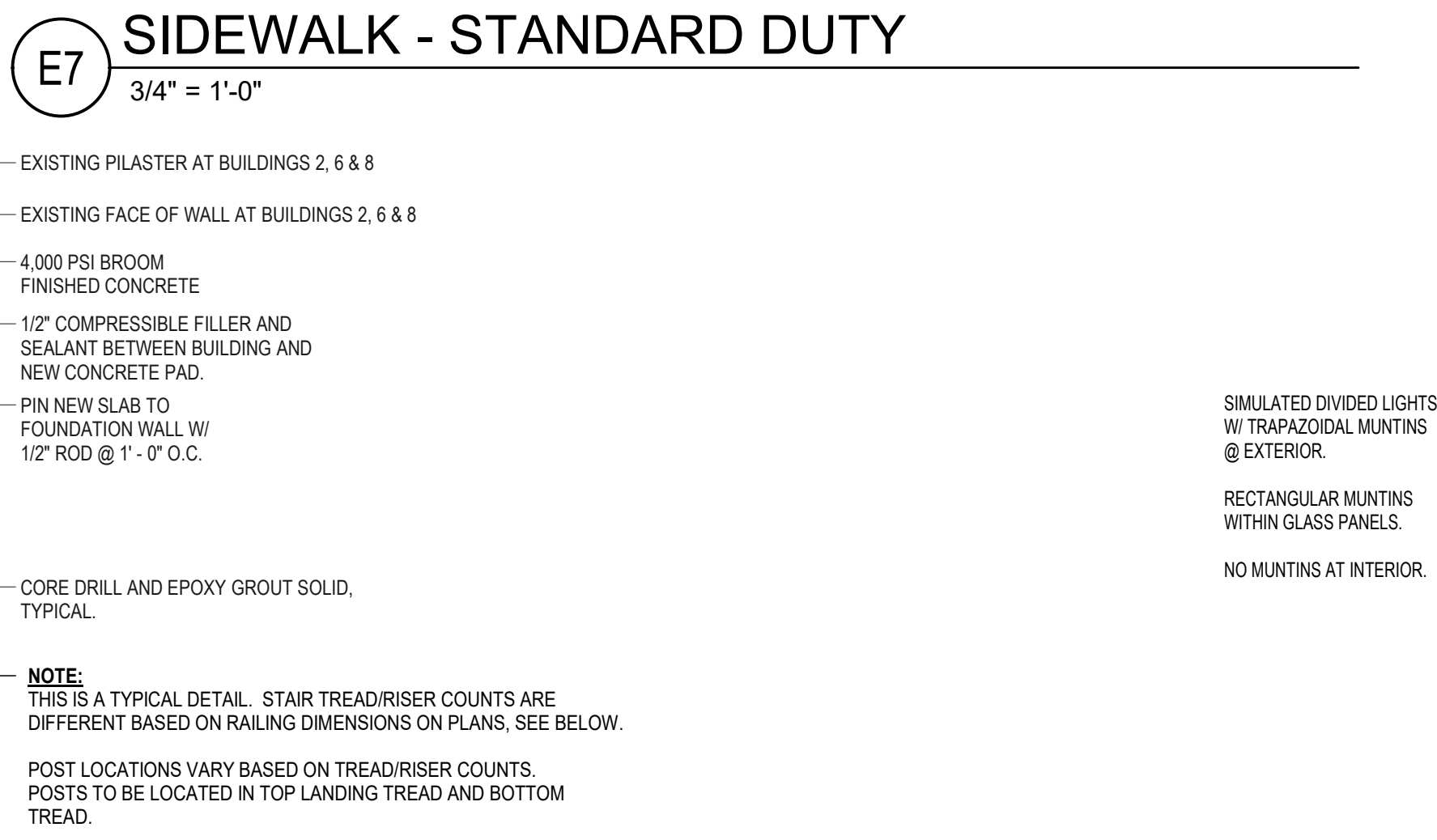
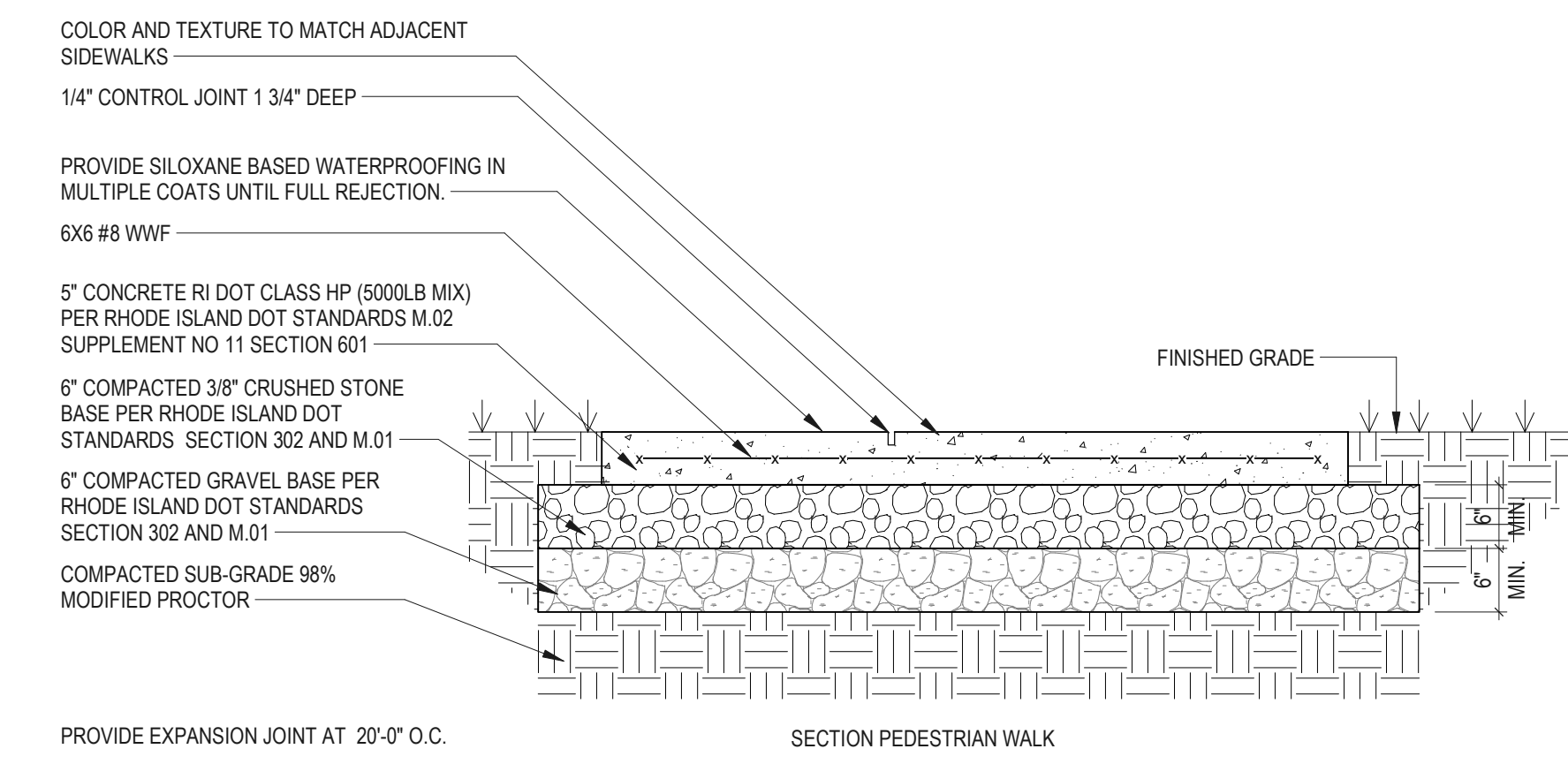
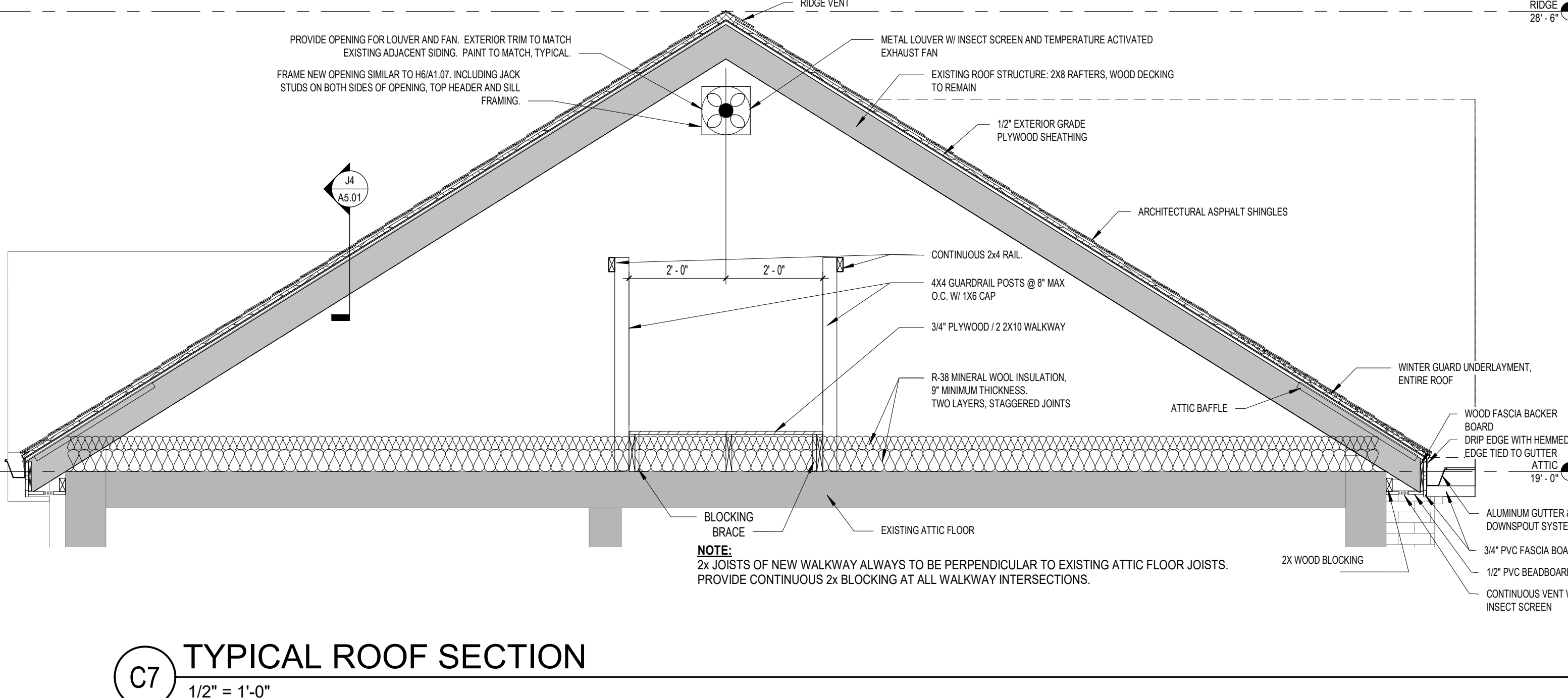
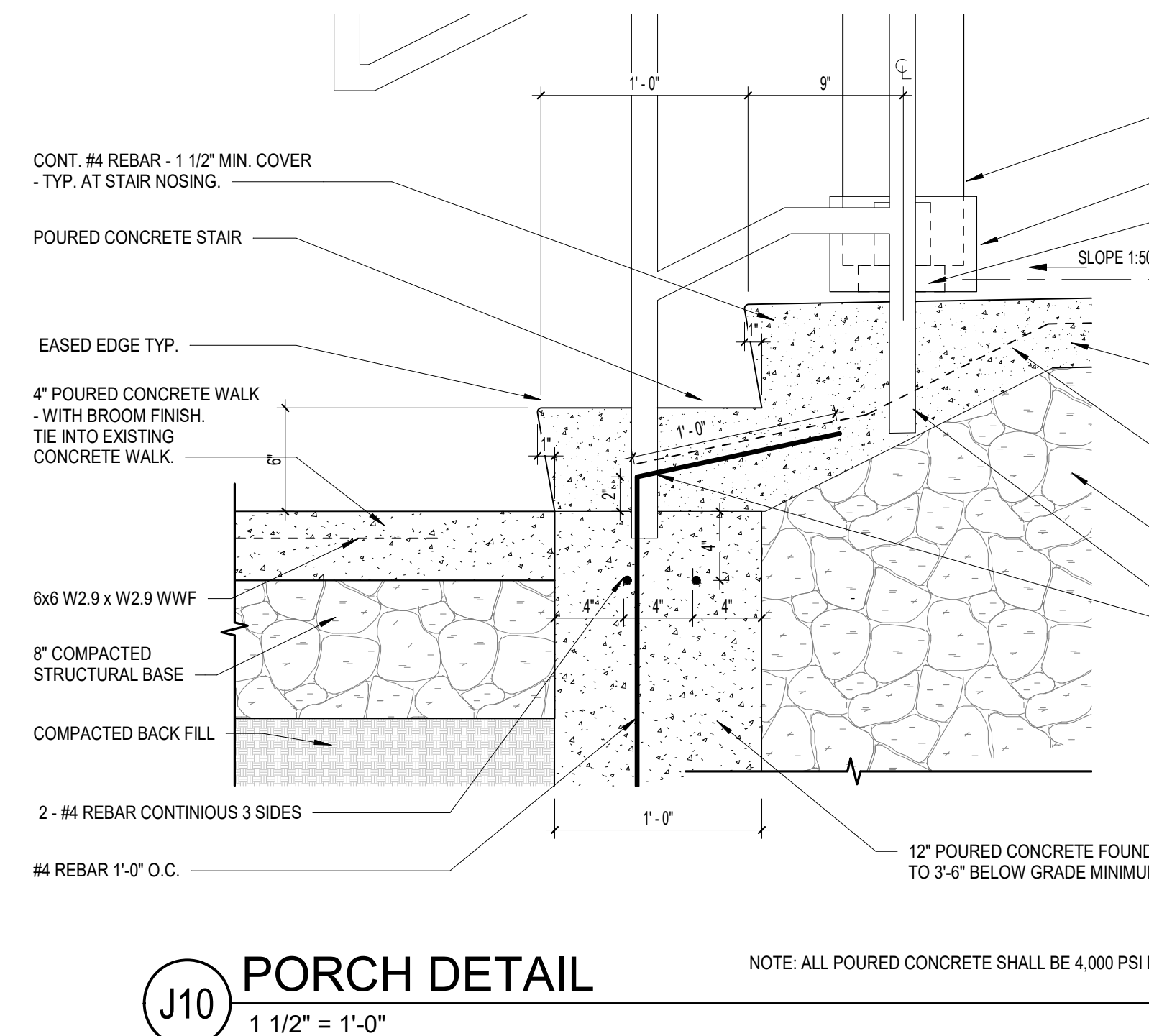
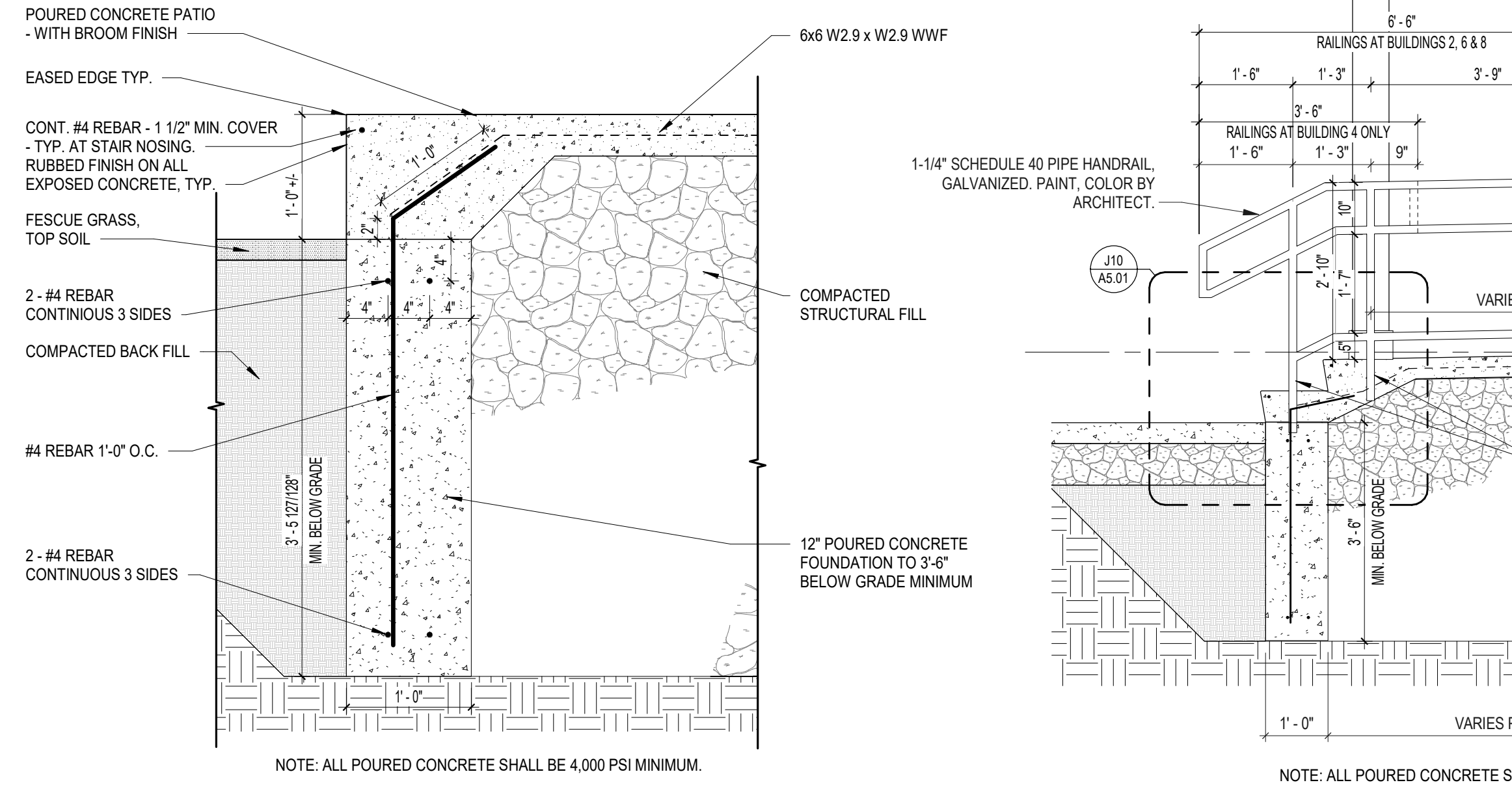
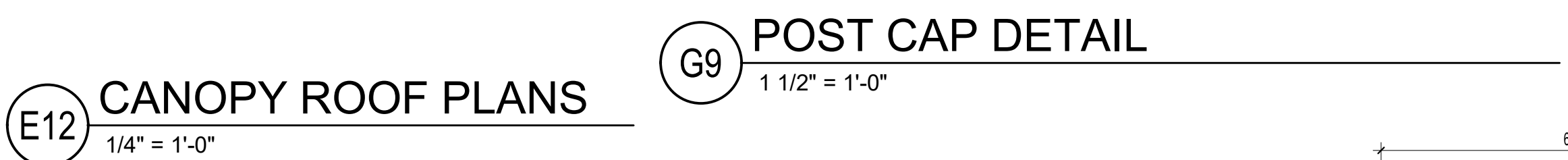
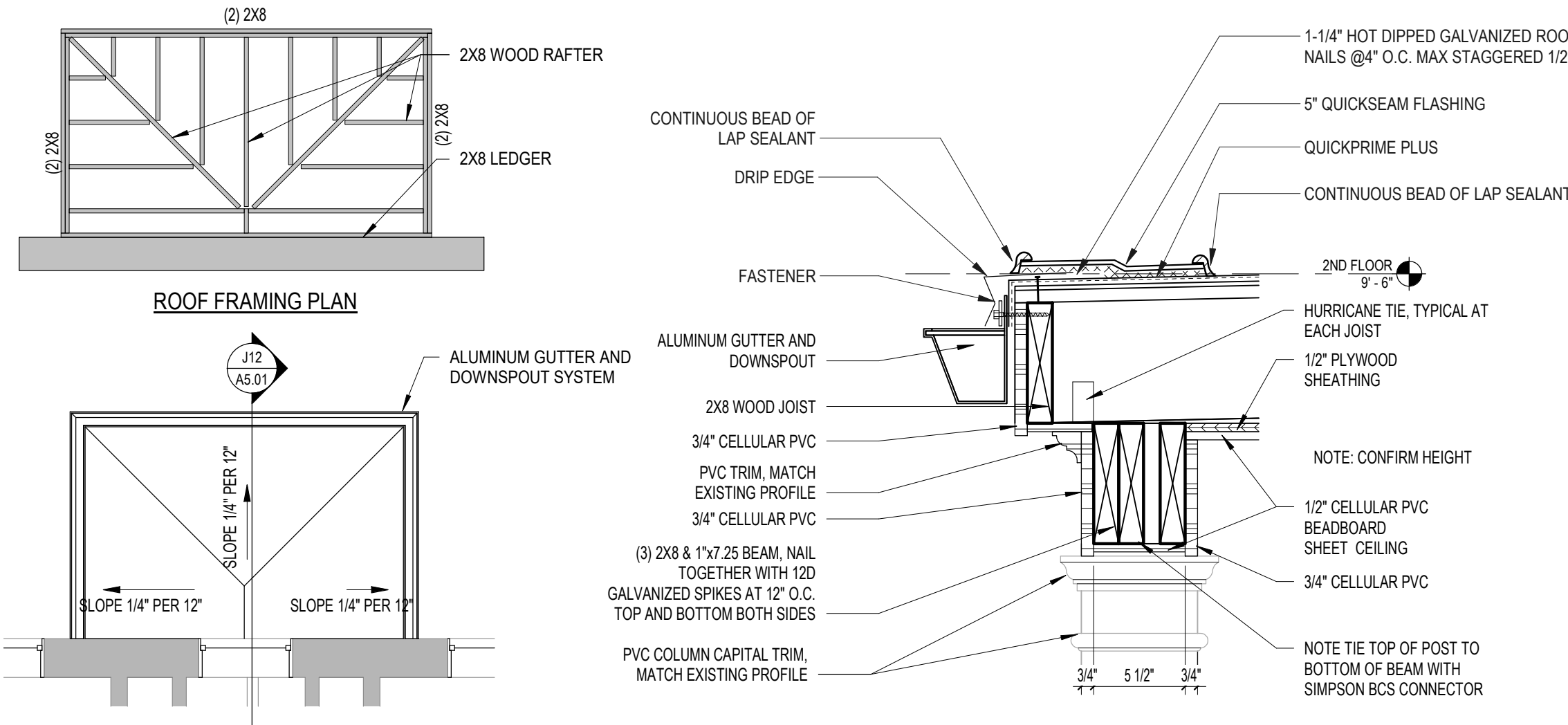
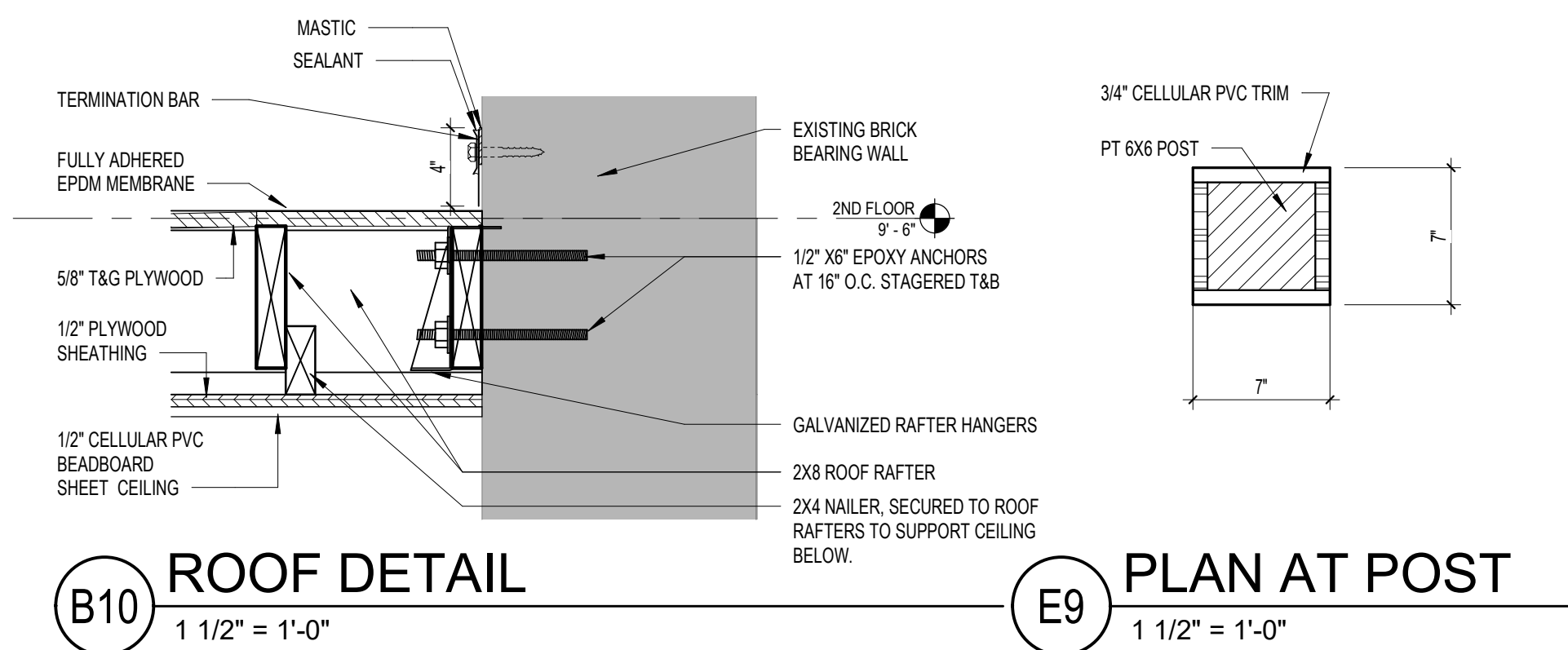
Issues / Revisions

No.	Date	Description
06-14-2022		CONSTRUCTION DOCUMENTS

Drawing Title
BUILDING 8 PLANS AND ELEVATIONS

Project Manager: MT Project No: UR148-IN
Project Architect: JB Production Leader: JB
Project Designer: Peer Reviewer: RA
Drawing Number

A1.08



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Project

ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR
ALL BUILDINGS

Seals
CONSTRUCTION DOCUMENTS



Issues / Revisions	
No.	Description
06-14-2022	CONSTRUCTION DOCUMENTS

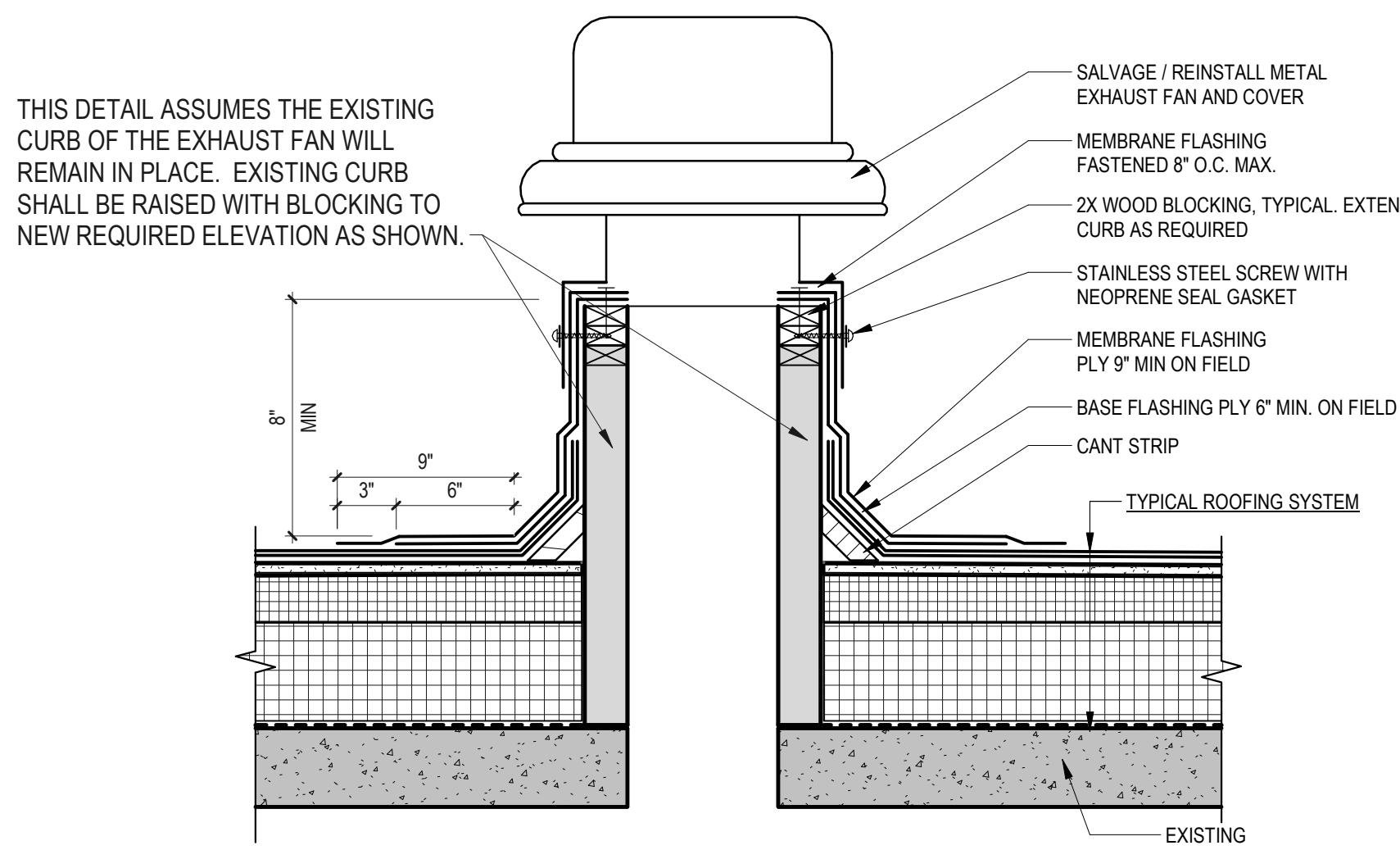
Drawing Title
SECTIONS AND DETAILS

Project Manager:	MT	Project No:	URI-48-IN
Project Architect:	JB	Production Leader:	JB
Project Designer:	Peer Reviewer:	RA	

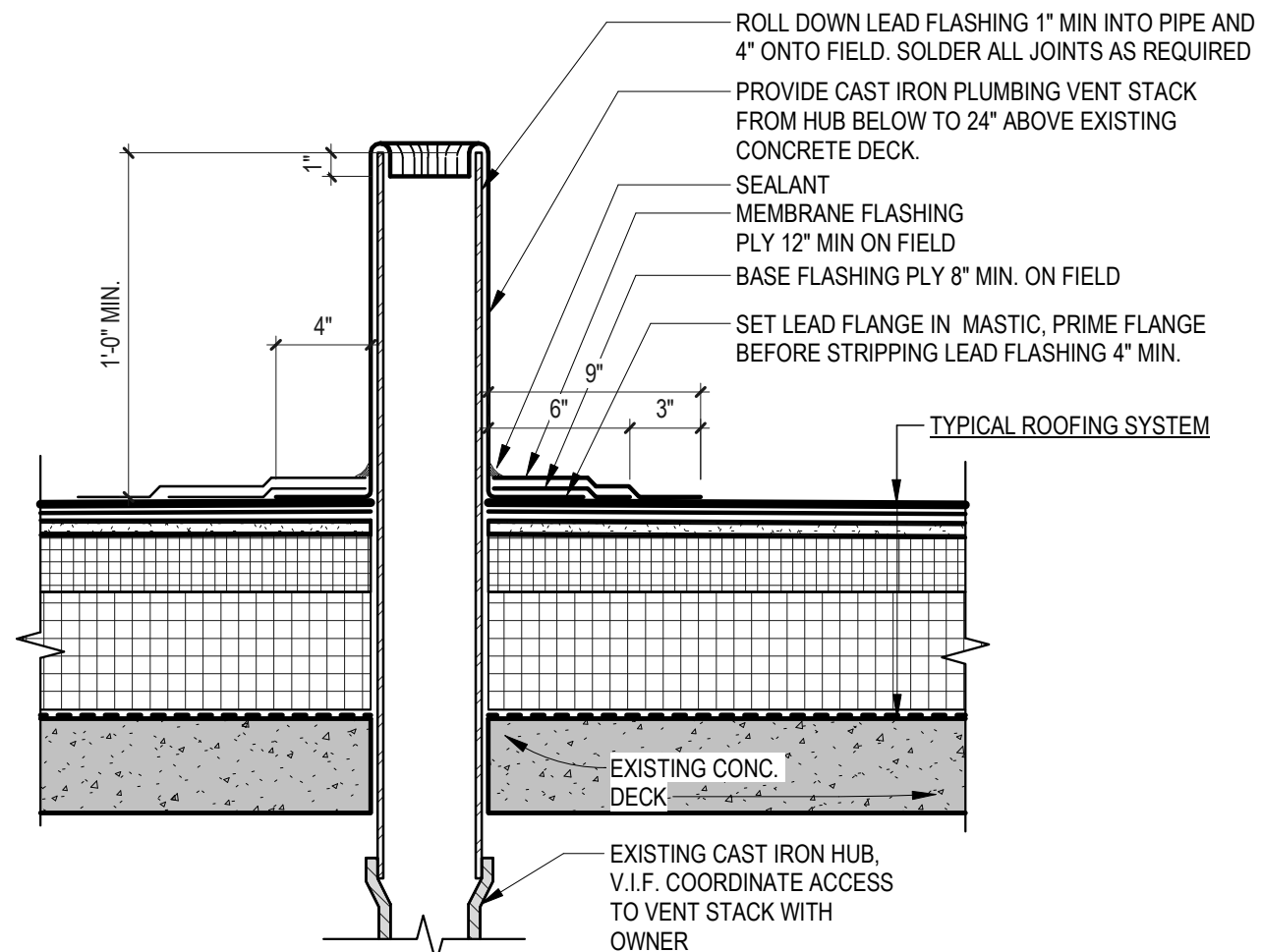
Drawing Number

A5.01

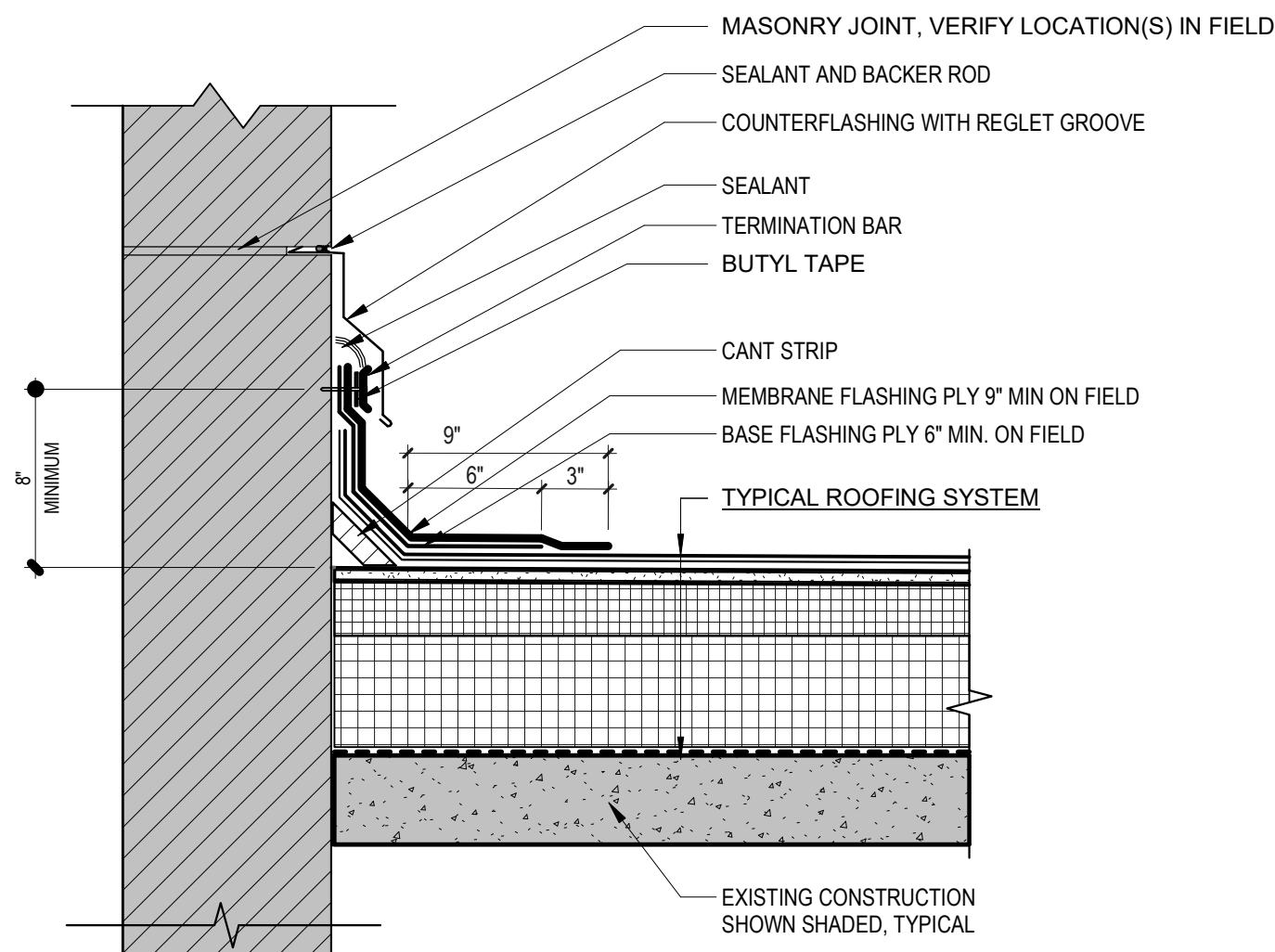
6/14/2022 6:36:42 PM C:\Users\ChrisB\Documents\UR46IN_C_ARCH_E20_GATEWAY_Jaundty_chrisb\UX\G8.rvt



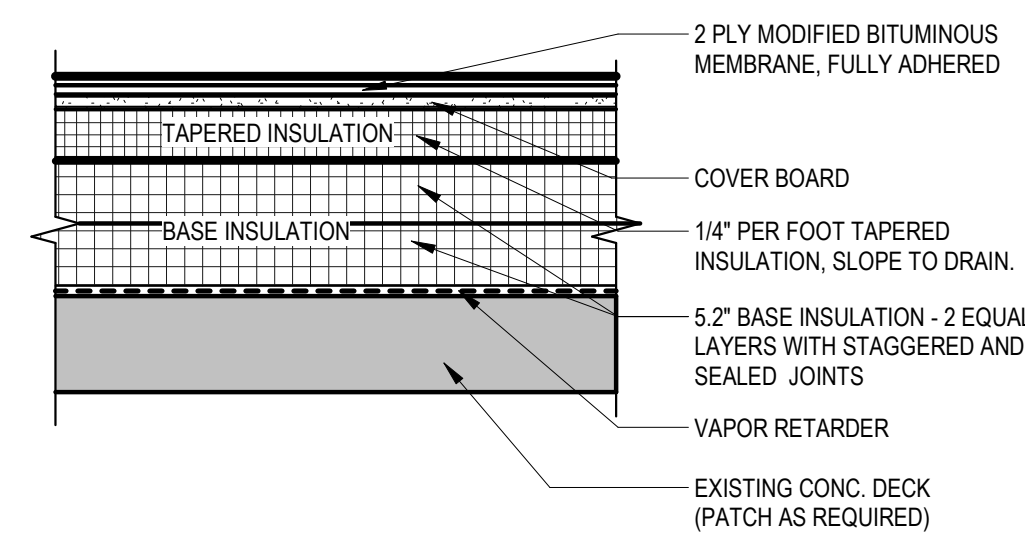
G12 TYPICAL EXHAUST VENT
1 1/2" = 1'-0"



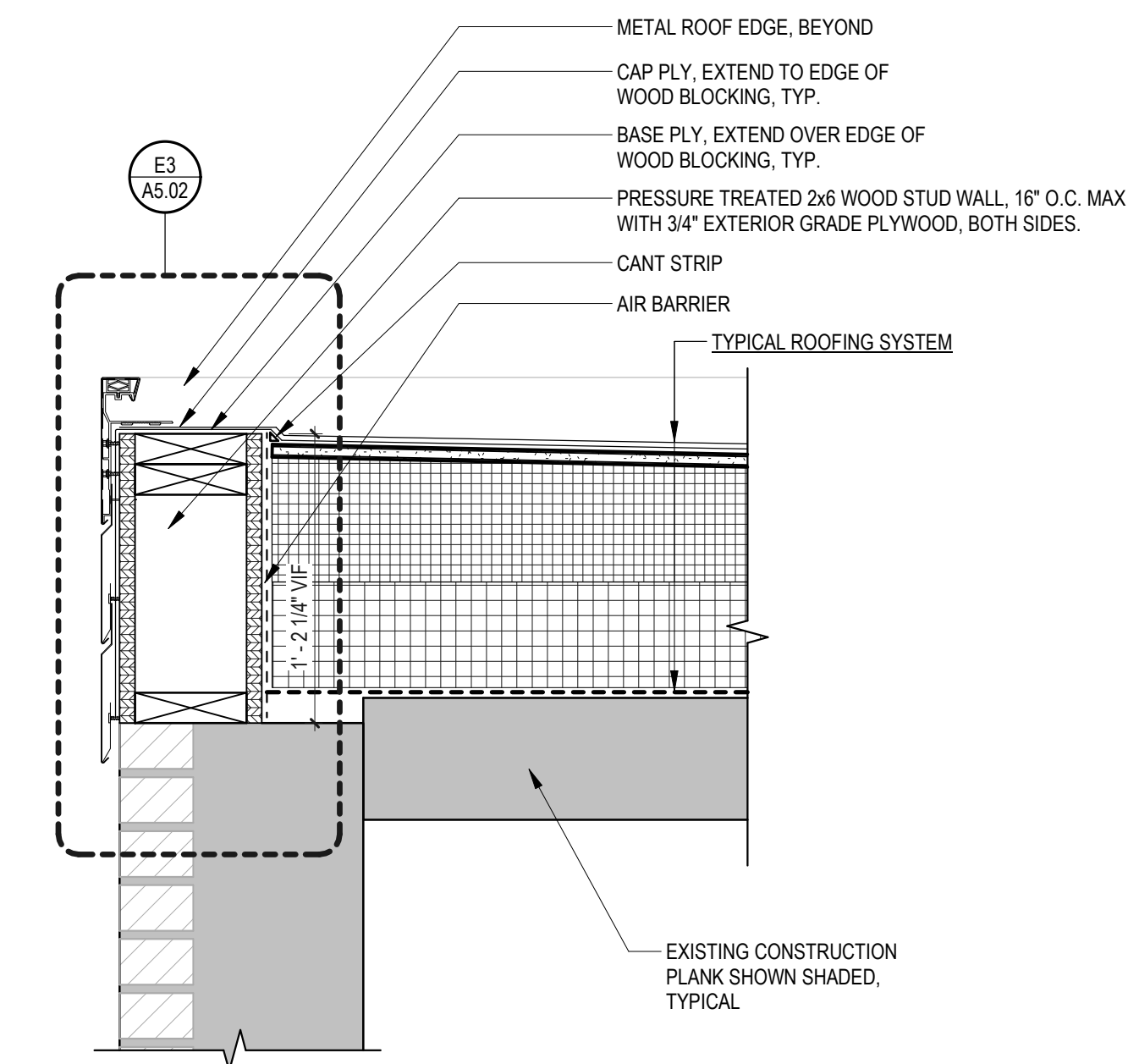
G8 TYPICAL VENT THROUGH ROOF
1 1/2" = 1'-0"



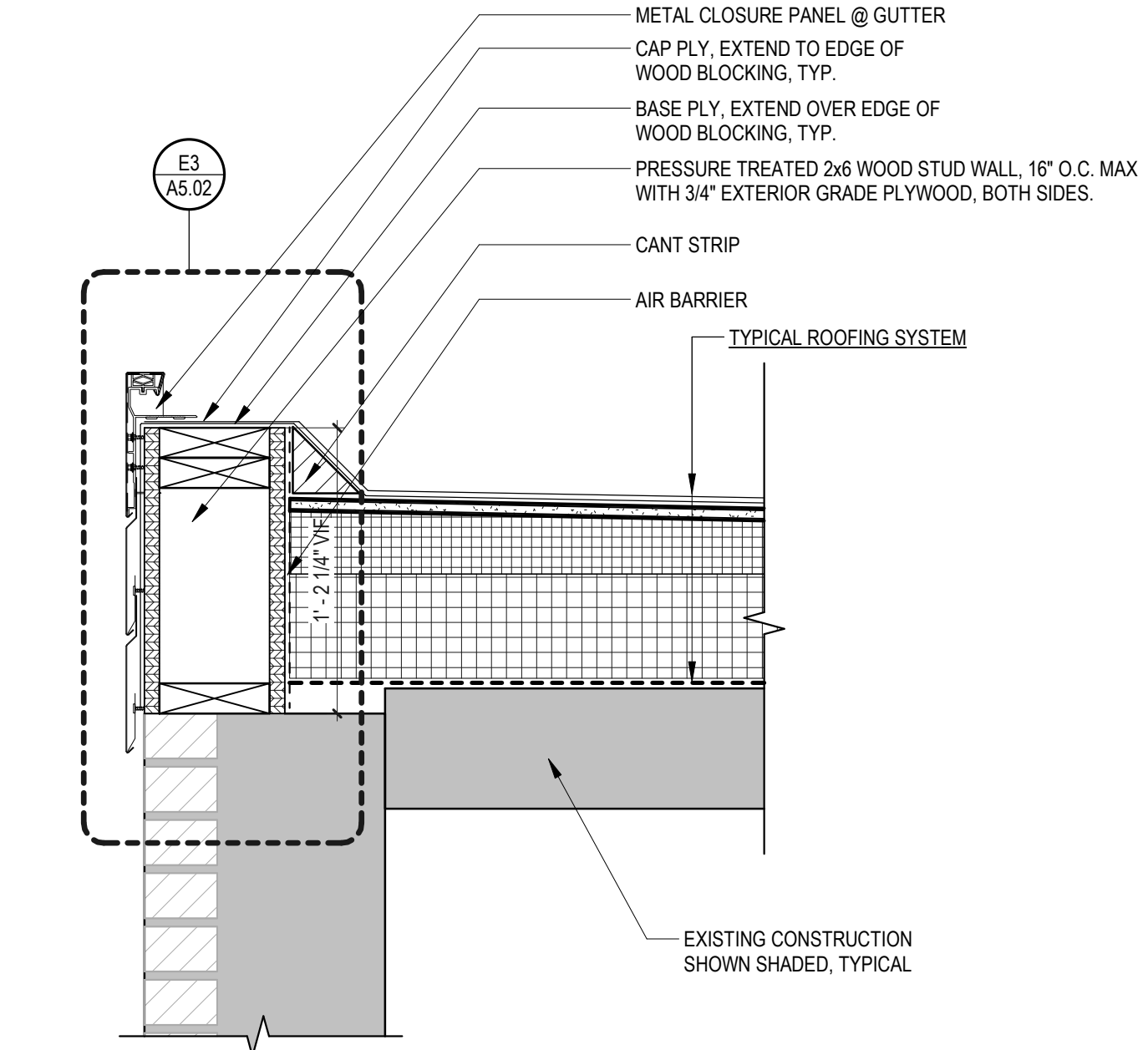
G6 TYPICAL REGLET AND BASE FLASHING
1 1/2" = 1'-0"



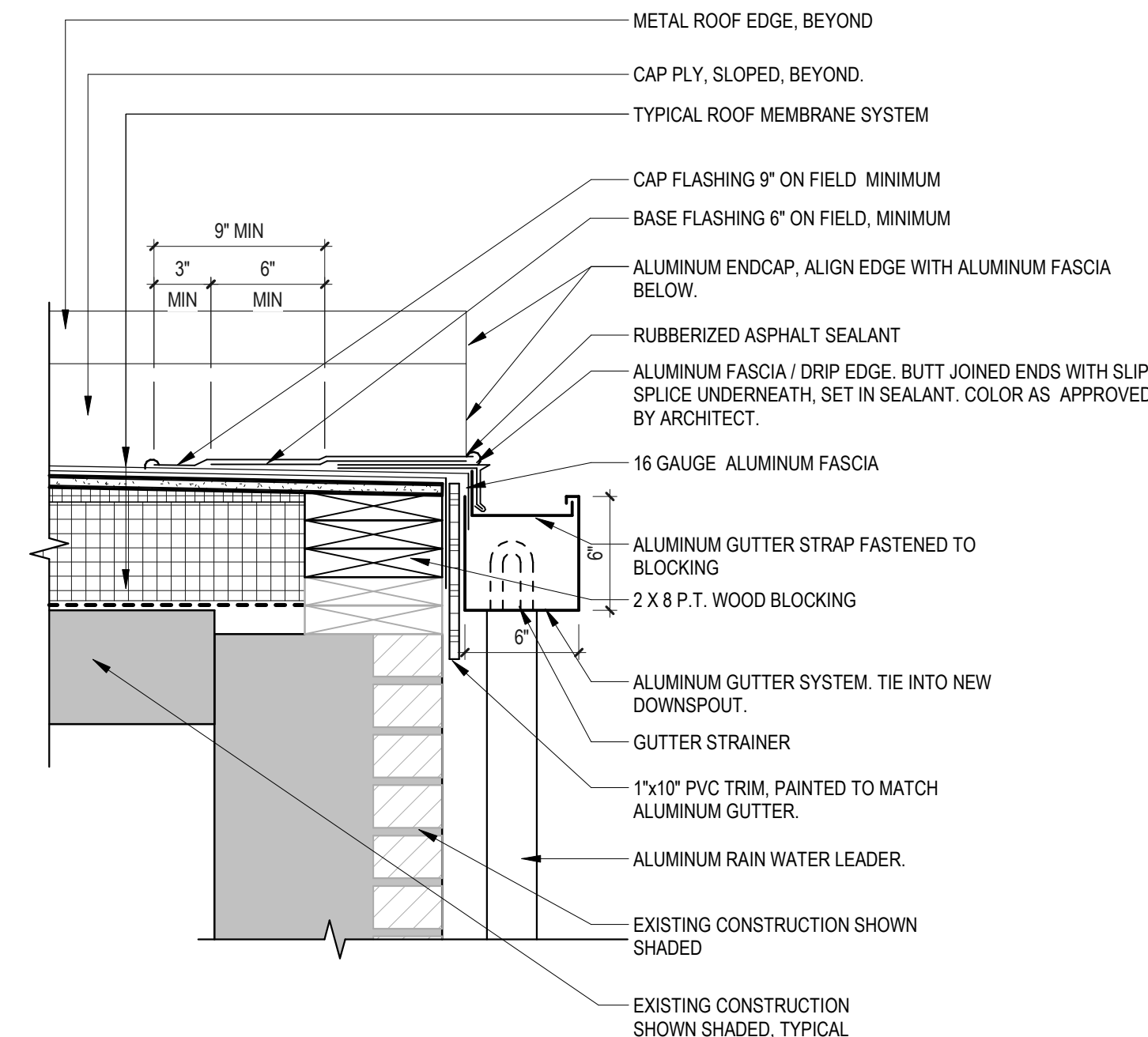
G3 TYPICAL ROOF MEMBRANE SYSTEM
1 1/2" = 1'-0"



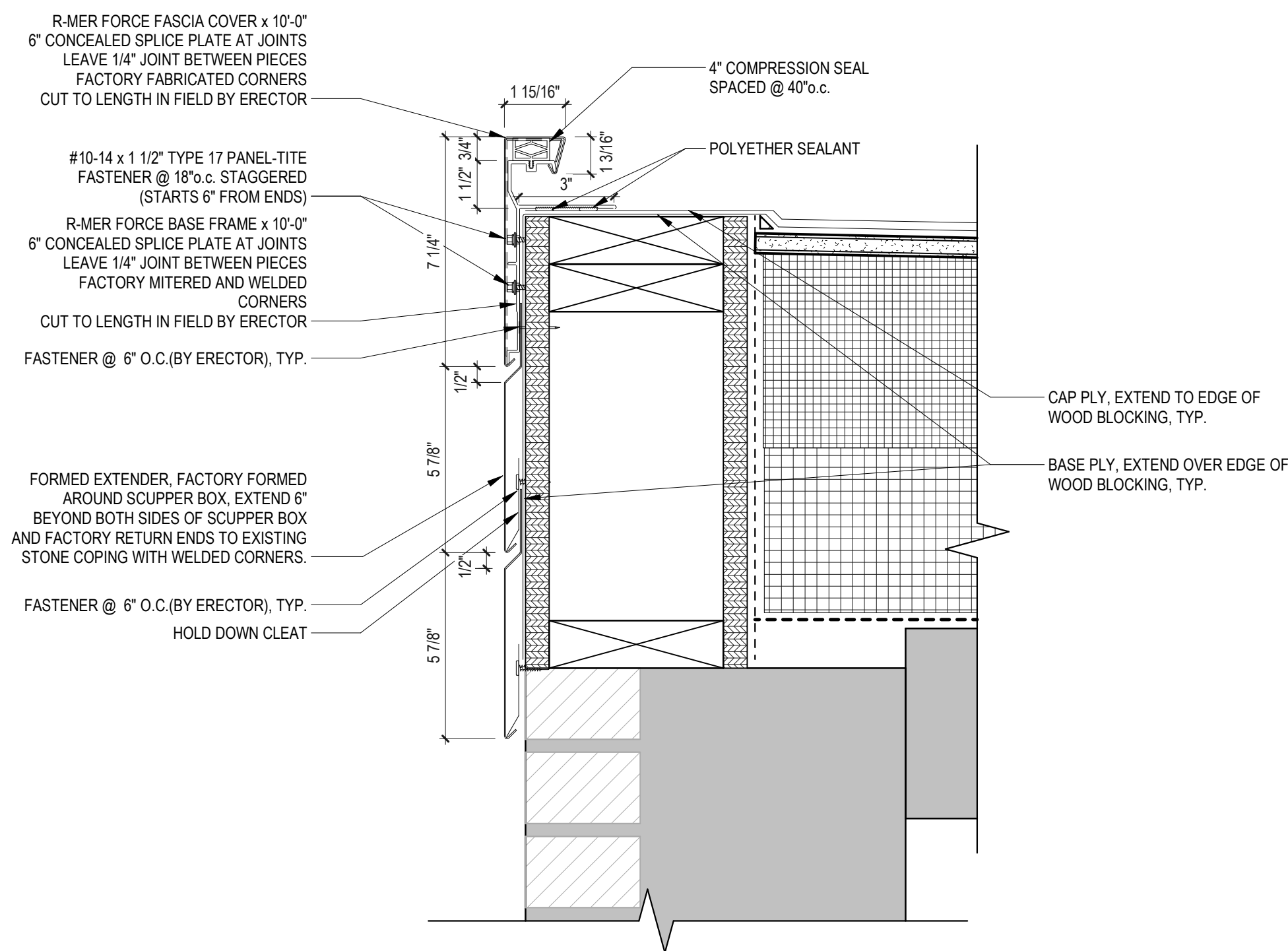
K8 TYPICAL PERIMETER WALL CONDITION
1 1/2" = 1'-0"



K6 TYPICAL PERIMETER WALL CONDITION Copy 1
1 1/2" = 1'-0"



K3 TYPICAL GUTTER DETAIL
1 1/2" = 1'-0"



E3 METAL ROOF EDGE FLASHLESS
3" = 1'-0"

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KINGSTON, RI. 02881
Project
ROOF, WINDOW, PORCHES REPLACEMENT AND EXTERIOR REPAIR
GATEWAY APARTMENTS BUILDING #7

Seals
CONSTRUCTION DOCUMENTS



Issues / Revisions	
No.	Description
06-14-2022	CONSTRUCTION DOCUMENTS

Drawing Title
ROOF DETAILS

Project Manager:	MT	Project No:	URI-48-IN
Project Architect:	JB	Production Leader:	JB
Project Designer:		Peer Reviewer:	

Drawing Number

A5.02