



## REQUEST FOR PROPOSALS

### RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

### CONSTRUCTION MANAGEMENT AT RISK SERVICES

RHODE ISLAND CONVENTION CENTER AUTHORITY

One LaSalle Square, Providence, RI 02903



The following are critical dates and times:

RFP Notification: February 9, 2024

Mandatory Walk-through Meeting: Rhode Island Convention Center 2<sup>nd</sup> Floor James P. McCarvill Board Room Thursday February 15, 2024 at 11:00AM

Proposals Due: Friday March 8, 2024 at 2:00PM

## **SUMMARY OF REQUEST**

The Rhode Island Convention Center Authority is responsible for multiple buildings including the Rhode Island Convention Center (RICC), the Amica Mutual Pavilion (AMP), the Veterans Auditorium (VETS), two parking structures at the Convention center, and the Innovation District Garage on Clifford Street in Providence. All the buildings are located in downtown Providence, Rhode Island.

The Rhode Island Convention Center Authority (the “Authority”) is seeking proposals from qualified Construction Management firms for Construction Manager at Risk (“CMAR”) services for the renovation of the Fifth Floor Ball Room and Meeting Rooms, building-wide fire alarm replacement and exterior door replacement. The Authority is also considering creating additional space by infilling the north entry atrium, “the Rotunda” at the third floor. Preliminary feasibility efforts are under way for this scope of work. Other ancillary projects within the complex may be added to the CM’s scope of work if the Authority deems it to be in its best interest. The Rhode Island Convention Center will remain open and operational throughout the duration of this project.

The scope of work for CM services required is described in this document. The CM firm selected for this project will report directly to the Project Manager assigned to the project from the Authority. The CM firm selected will assume full responsibility for the estimation, constructability reviews, scheduling, construction, and close out processes. The CM firm selected will coordinate the scope of work with their subcontractors and all outside vendors during construction.

## **PROJECT OVERVIEW**

The project is generally broken down into four scopes of work, the Fifth Floor Renovations, the 3<sup>rd</sup> Floor Rotunda Infill, the building-wide Fire Alarm Replacement and Exterior Door Replacement. Below is a breakdown of each scope work:

Architectural Existing Floor Plans of the RICC are attached to this RFP for reference only.

### **RICC FIFTH FLOOR BALL ROOM & MEETING ROOMS**

The RICC Fifth Floor Ball Room and Meeting Room renovations include but is not limited to the demolition and replacement of the finishes within these spaces. The area is shown on the attached drawings. The work is anticipated to include replacement of all finishes, work on the operable walls, limited work on the HVAC supply and return, limited work on the sprinklers, new lighting, and tel data/AV improvements. ZDS, Inc. of Providence, RI is the architect awarded the design of this scope of work.

### **RICC FIRE ALARM REPLACEMENT**

The RICC Fire Alarm Replacement scope is a building-wide Fire Alarm Replacement including the South Parking Garage. The existing system is original to the building’s construction completed back in 1994. Construction Documents have been designed by Jensen Hughes of

Warwick Rhode Island. Jensen Hughes will be performing as a consultant to ZDS, Inc. Please see attached design drawings. These drawings are for reference only and will not be utilized for construction.

### **RICC EXTERIOR DOOR REPLACEMENT**

The Exterior Door Replacement at the RICC includes, but is not limited to, the replacement of the original existing ground floor exterior (24) and (4) interior doors. The work is anticipated to include demolition of existing doors, preparation of existing openings, and installation of new frames, doors, hardware, automatic door operators, transoms, lettering, and surface applied films. Work is also inclusive of associated electrical scope and repairs to adjacent finishes.

The RICC shall remain occupied and operational throughout the duration of construction. This scope is to be complete concurrently with the other scopes of work and will need to be coordinated around egress requirements and the RICC's event schedule.

ZDS, Inc. has designed 100% Bid Documents. For reference only, the drawings are attached to this RFP.

### **RICC 3<sup>RD</sup> FLOOR ROTUNDA INFILL**

The CM Services at the RICC 3<sup>rd</sup> Floor Rotunda Infill shall include CM services through Schematic Design. The effort shall include estimating, scheduling, and constructability assistance with infilling a new floor at the 3<sup>rd</sup> level of the atrium to create a new food service area. Scope of work will also include the renovation of the adjacent existing café. Soley at its discretion, the Authority may extend the CM's services through the balance of design, construction and closeout.

### **PROJECT SCHEDULE:**

The project schedule consists of the Pre-Construction Phase taking place upon execution of a contract with the CM@R. The Construction Phase is expected to start in the Fall of 2024. The RICC will remain open and operational during the construction. The work must be coordinated and phased with ongoing events and construction activities throughout the building. The total duration of the work is expected to be phased over a 6-month period after mobilization. The start of the work shall be coordinated with delivery of materials to limit on-site presence. The construction budget for the Fifth Floor Renovations is approximately \$ 4.7 million. The total construction budget for the Fire Alarm scope is \$3.8 million. The total construction budget for the RICC Exterior Door Replacement is \$400,000. The total construction budget for all three projects is \$8,900,000.

The Project description is for informational purposes only and may be further modified based on the final construction documents.

The designer of record for the Project is ZDS, Inc.

The Owner's Project Manager for the Project is Hill-LiRo. They will be located on site.

Mark Morin, PM, and Jim Devol, Project Executive  
Hill International, Inc.  
Needham, MA.  
Morin Cell: (774) 254-6703, Devol Cell: (401) 714-8283

## **PRELIMINARY PROJECT SCHEDULE**

### **Request for Proposals (“RFP”) and Selection**

RFP issued	Friday February 9, 2024
<b><u>Mandatory</u></b> CM Pre-proposal conference	Thursday February 15, 2024, at 11:00AM
CM Requests for Information (“RFI”) due	Thursday February 22, 2024 at 3:00PM
Response to RFI’s/Addendum Posted	Monday February 26, 2024
Proposals due	Friday March 8, 2024 by 2:00PM
CM interviews	March 18, 19, or 20, 2024 (times TBD)
Firm selection and Board Approval	Thursday, March 29, 2024

### **Design and Construction**

CM Services begins:	April 1 , 2024
Schematic Design (SD)	Started, Completion by April 8, 2024
SD Estimate, reconciliation, adjustments	April, 2024
Design Development (DD)	April through May 2024
DD Estimate, reconciliation, adjustments	May 2024
Final design and Construction Drawing’s	June and July 2024
Subcontractor Bidding	4 weeks
GMP Assembly & Finalization	1-week
Mobilization & Construction Start	Date to be determined
Submittals, Fabrication, deliveries	3 months
Rough estimate of construction duration	Multiple phases totaling 6 months
Close out	1 month
10 Month Warrantee review	10 Months after Substantial Completion

## **OTHER PROVISIONS:**

- Trade parking is limited on site. The trades may park at their cost in the RICCA parking garages or on the street where they can legally park. The Authority assumes no responsibility for fines or towing costs for illegally parked vehicles.
- A space for an office can be provided for the contractor during construction operations. Office furniture, supplies, and the like shall be by the Contractor. The Authority will provide access to the facility WIFI.
- Deliveries shall be coordinated with the Authority.
- There is some space on site for office trailers or storage trailers for materials – but this must be coordinated with the Authority. Tradesmen in the building must wear clothing, (or badges), and hard hats that identify the company they work for.



The Authority utilizes union labor internally to maintain and operate the buildings.

- Firms will be expected to comply with Rhode Island WBE-MBE goals as stated on the State Compliance website: <https://dedi.ri.gov/divisions-units/minority-business-enterprise-compliance-office>

## REQUEST FOR PROPOSAL SUBMISSION REQUIREMENTS

The Authority will receive the qualifications and proposals for Construction Management services for this project.

Proposal Documents: four (4) printed copies and one (1) complete copy on one (1) USB thumb drive must be submitted by US Mail/Courier and or hand delivered and received no later than **March 8, 2024, at 2:00PM, local time**. Proposals received after that time and date will be returned unopened. All Proposals must be clearly and distinctly typed, pricing submitted on the pricing sheet provided, and the proposal must be completed and signed. Once submitted, a Proposal becomes the property of the Authority.

Send Proposals to:

Attn: Daniel McConaghy, Executive Director  
Rhode Island Convention Center Authority  
One LaSalle Square  
Providence, RI 02903

The outside of the envelope or package containing the bid should be marked “RICC Fifth Floor Renovations”

Each Proposal must include the following:

1. Completed Price Proposal Form (Exhibit A) signed by a person legally authorized to bind the Proposer in contract.
2. Information required by the above “Required Content Requirements” section.
3. MBE Certification Form (Exhibit B)
4. Project Reference (Exhibit C) Please confirm these contacts are current and accurate.

Proposers are advised that all documents submitted in response to this RFP are public upon opening in accordance with Section 37-2-18 of the Rhode Island General Laws, the burden being on the Proposer to identify confidential and proprietary information and to redact same on the USB flash drive copy.

A Proposal must fully and accurately set forth the information required by this RFP.

### **Pre-Proposal Site Walkthrough**

Firms submitting Proposals are required to attend the Mandatory Pre-Proposal site visit on **February 15, 2023 at 10:00 AM**. The Pre-Proposal site visit meeting will be held at the RICC 2<sup>nd</sup> Floor James P. McCarvill Board Room. Proposals will not be accepted from firms who do not attend the Pre-Proposal meeting.

During this meeting, the Authority will provide a general overview of the scope of work as outlined in the RFP, take a tour of the project site and hold general discussions. Please e-mail Howard Allen, Purchasing Manager, at [hallen@pvdricenter.com](mailto:hallen@pvdricenter.com) to RSVP for this meeting no later than **February 14, 2024 at 4:00PM**. **Please clearly state the company you are with along with how many people will be attending this meeting.**

**Questions:**

All questions regarding this RFP should be sent to Howard Allen, Purchasing Manager at [hallen@pvdricenter.com](mailto:hallen@pvdricenter.com) in the form of a WORD document no later than **February 22, 2024 at 3:00PM**. Answers will be issued via Addendum only on the Authority’s website at (<https://www.riconvention.com/about-ricca/financials-rfps>) under the “RFPs & Financials”.

<b>PROPOSAL CONTENT REQUIREMENTS</b>
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For consideration, proposals must contain the requested information and address each item listed in this section. Proposals are to be organized in the same order as requested. Incomplete responses to any of these items or failure to submit complete proposal, as requested, may render your RFP response insufficient and may be denied further consideration. RFP responses that do not meet or exceed the requested information in each item requested will be considered incomplete.

Responses must be typed or printed. Any handwritten corrections made by the submitting firms must be initialed and dated by an officer of the firm. No changes or corrections will be allowed after responses are received.

In the body of the proposal provide:

**EXECUTIVE SUMMARY – RELEVANT EXPERIENCE**

- A description of your firm’s history and background (including legal name of the firm, location of principal and branch offices, length of time in business, firm ownership structure) and how it qualifies you for this project.
- Outline the unique benefits of your firm and how they can be applied to this Project.
- Outline any previous experience with the Authority.
- Outline previous experience relating to renovations of convention centers or similar facilities and experience with fire alarm systems replacements while a building is operational.
- Provide up to five (5) relevant project examples, including project scope, size, dollar value, and references (including contact information) from Owners and Architects from each.

## **COMPANY INFORMATION**

- Annual dollar volume for the past 5 years
- Annual dollar volume of work in Rhode Island past 5 years
- Current Project and Backlog Information: Provide a list of your current projects and projects in your backlog in the region with an emphasis on Rhode Island projects. Please include construction costs and completion date for same.
- Current EMR for self-performed work specifically for any subsidiaries who are owned by the CM, the number of recordable incidents on the company's projects over the past 24 months, and any OSHA citations against the firm or any subcontractors on its projects (pending or completed) over the past 24 months.
- Bonding capacity with project specific commitment letter from your Surety. **A MINIMUM LIMIT OF \$15,000,000 FOR A SINGLE PROJECT IS REQUIRED FOR THIS PROJECT.**
- Sample insurance certificate.

## **TEAM**

- Organizational chart
- Total number of the firm's personnel, other than administrative staff, by profession or skill group.
- Identification of team, roles and responsibility of all CM team members (See Price Section of RFP)
- Resumes for all assigned team members (Principal in Charge/ Project Exec, Estimators, PM, Superintendent, etc.)
- Staffing plan and/or histogram illustrating each individual team member's time commitment (hrs.). (See Price Section of RFP)
- Outside firms which will be used to provide such things as estimating, value engineering, analysis, scheduling, and computer services.

## **PROJECT APPROACH**

- Scope of preconstruction phase services, including how those services are provided, with specific attention to the first estimate, methods of cost control, constructability reviews, scheduling, value engineering, document quality reviews, and the method of reporting project status and schedule position.
- Your approach to a successful project completion while being able to coordinate with the Authority's operation's team and ability and willingness to adapt to scheduled and non-schedule events at the facility, which will remain in operation during the Project.
- Approach to compliance with Rhode Island MBE-WBE goals and reporting requirements.
- Based on the information and proposed schedule provided in this RFP, discuss your thoughts on potential project challenges (i.e. working in occupied space, logistics relating

to occupied buildings, limited lay down areas, etc.) and procurement processes and why you feel they are important to the overall success of the project.

- Any other information the bidder considers helpful as to an evaluation of the bidder.

***The Proposal for the items above is limited to 20 pages, 12pt font. An appendix of additional projects may be attached above that limit.***

- Cost Proposal per the attached Exhibit A – Cost Proposal Form (attached)

## **PRICE PROPOSAL**

Fees for services will be negotiated based on proposal information submitted prior to execution of a Contract with the selected firm.

- Fee proposals shall be submitted as follows:
- Pre-Construction Services
  - Provide a staff chart with hours & billable rates.
  - Provide a description of early award services as may be necessary to support substantial completion.
  - Price to include coordinate / facilitate weekly project team meetings.
  - Price to include review of drawing deliverables and to provide constructability reviews, and document coordination and quality reports.
  - Price to include a full estimate of Schematic drawings and the Design Development Documents on the Fifth Floor work and fire alarm work, plus and a schedule, constructability review, and an estimate of the rotunda schematic drawings.
  - Price to include monthly cost tracking from DD through CD's to monitor and inform the Authority of cost changes.
  - Price to include generation of, and monitoring / updating of a preconstruction schedule.
  - Cost to create and update a construction schedule with the GMP.
  - Price to include the establishment and execution of procurement plan.
  - Price to include logistics planning and development.
  - Price to include creation and assembly of Subcontractor Construction Costs.
  - Price to include the creation and assembly of GMP.
  - Price to include coordination with the Owner's Commissioning Agent.
- Construction Phase Services
  - Provide a staffing chart with hours & rates.
  - Price to include assisting with subcontractor recommendation & award process.
  - Price to include finalization of Subcontractor Contracts.
  - Price to include to include construction management services.
  - Price to include the management of the construction costs and changes.
  - Price to include the management of the construction schedule.
  - Price to include the coordination / facilitation weekly project team meetings.

- Price to include the coordination of all CM and Authority vendor scopes of work throughout the construction process.
- Price to include to include assisting Owner with project commissioning.
- Price to include to include close out documentation (Electronic Format).
- Price to include providing the Authority with close-out documentation (Hard copies or Electronic Format on a case by case basis).
- Perform all work and services pursuant to the GMP requirements.
- Breakdown of anticipated General Conditions costs based on Exhibit A. (To be submitted on attached responsibility matrix)
- Provide % Change Order mark-up.
- Provide CM Fee for overhead and profit as a percentage of the Cost of the Work (Assume \$8,900,000 Budget)

**SELECTION CRITERIA**

After receipt of the Proposals, the Authority will review and evaluate the submissions and, at the Authority’s sole option, may conduct interviews, then select the Construction Manager at risk. Selection shall be generally determined by which firm in the opinion of the Authority is the most qualified and able to successfully and timely complete the Project. Selection criteria shall include, but not be limited to, the following:

- Experience with similar projects.
- Experience with projects in Rhode Island.
- Experience working with the Authority.
- Experience of key personnel assigned to the Project.
- Price proposal.
- Current workload and capacity to take on the Project.
- Experience working with regulatory and public agencies within Rhode Island.
- Demonstrated commitment to excellence.

Any other items deemed important to the Authority.

<b>GENERAL TERMS &amp; CONDITIONS</b>
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To be considered, Proposers must provide the information requested herein, in writing, within the time frame specified. The Authority will compare proposals, ask any questions to all proposers, and move forward with the proposer who provides the lowest responsible and best qualified proposal as evaluated by the Authority.

A “Qualified Proposer” is a Proposer determined by the Authority to meet standards of business competence, reputation, financial ability, and product quality. A “Responsible Proposer” is a Qualified Proposer who has the capability in all respects including financial responsibility to perform full the requirements, and the integrity and reliability which will assure good faith performance.

**Prohibition of Alterations:**

Proposals which are incomplete, or which are conditioned in any way, or which contain erasures, alterations, or are not in conformity with the law may be rejected.

**Rejection of Proposals:**

The Authority reserves the right to:

- Make all decisions regarding this proposal, including, without limitation, the right to decide whether a Proposal does or does not substantially comply with the requirements of this RFP.
- Accept, or reject in any terms of Proposer’s submission or any part thereof.
- To reject any or all proposals received.

**Tax and License Requirements:**

Proposers must follow all laws it is subject to in their proposal for services.

**MBE/Prevailing Wage:**

The Project is subject to Chapter 37-14.1 of the R.I. Gen. Laws and regulations promulgated thereunder, which require that 10% of the dollar value of the work performed on the project be performed by minority/women business enterprises.

The successful Proposer shall comply with applicable prevailing wage requirements.

**Foreign Corporations:**

Proposers are advised, that in accordance with Chapter 1.1 of Title 7 of the R.I. Gen. Laws, no foreign corporation shall have the right to transact business in the state of Rhode Island until it shall have procured a certificate of authority from the Secretary of State, and the successful Proposer, if a foreign corporation, must be so qualified at the time of execution of the contract.

**Nonresident Contractors:**

Proposers are further advised that in accordance with Section 44-1-6 of the R.I. Gen. Laws, the Authority shall withhold payment from the Proposer awarded the contract, if the successful Proposer does not maintain a regular place of business in Rhode Island, in the amount of 3% of the Contract Sum until thirty (30) days after Final Completion and compliance by the Contractor with the requirements of such section.

**Execution of Contract:**

Upon the Authority’s acceptance of the successful Proposer’s Proposal the Proposer and Contractor shall execute AIA Form “A133-2019 Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost



of the Work Plus a Fee with a Guaranteed Maximum Price” with” A201-2017 General Conditions of the Contract for Construction” as both maybe modified by the Authority.

**Obligation:**

The RFP does not obligate the Authority to contract for any services, expressed or implied.

The Authority shall not be responsible for any cost incurred by any proposer in the preparation of this proposal. It must be specifically understood that this RFP does not create any obligation on the part of the Authority to enter into any contract or undertake any financial obligation with respect to the items referred to herein. The proposer understands that, if selected, the Authority reserves the right to provide its opinion publicly and privately regarding the proposer’s performance, throughout the entire project.

<b>INSURANCE REQUIREMENTS</b>
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- Statutory Coverage Worker’s Compensation Insurance with employer liability limits of \$500,000.00 for each accident, aggregate for disease, and disease of employee; and
- Contractors or subcontractors whose total job cost is less than \$25,000 - Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverages in an amount of at least \$1,000,000 per occurrence and aggregate; or (b) Contractors or subcontractors whose total job cost is more than \$25,000 - Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverage in an amount of at least \$2,000,000 per occurrence and aggregate.
- Except as otherwise expressly approved in writing, all contractors’ policies should be broad form and shall include contractual liability, personal injury protection and completed operations coverage.
- The policies should be written so as to be primary and non-contributory.
- Each insurer must be licensed to do business in the State of Rhode Island, with a rating by Best’s Insurance Rating Guide of at least A-X and coverage must be primary and non-contributory.
- A standard waiver of subrogation clause must be included for all policies.
- All coverage should be written so as to be primary of any applicable coverage carried by Owner and any other applicable ownership entity.
- Evidence of coverage to be provided via standard ACORD certificate of insurance form.
- **Payment and Performance Bonds – A Minimum Limit of \$15,000,000 for a Single Project Is Required for this project**
- **A Bid Bond pursuant to this solicitation is not required.**

Additional Insureds:

Rhode Island Convention Center Authority, SMG/ASM GLOBAL, Amica Mutual Pavilion, Rhode Island Convention Center, the State of Rhode Island, and their respective Directors, Officers, Agents and Employees should be listed as additional insured on a primary and non-contributing basis. Waiver of subrogation in favor of the additional insured should apply to the policy.

Certificate Holder Section should read as follows:

Rhode Island Convention Center Authority  
1 LaSalle Square  
Providence, RI 02903

## RIGHTS RESERVED TO THE AUTHORITY

Notwithstanding any other provision of this Invitation the Authority reserves to itself the rights listed below.

### *A. Right to Modify Invitation Documents*

The Authority reserves the right to modify or amend any provision of the Request for Proposal documents. Proposers should check the Authority's website for any modifications.

### *B. Right to Reject Any and All Proposals*

Whenever the Authority deems it to be in the Authority's best interest, the Authority reserves the right, in its sole discretion, to cancel this Invitation, to reject any and all Proposals, to waive minor irregularities or informalities in a Proposal; to re-advertise; and to proceed in a manner other than awarding a contract under this Invitation. **The Authority will not waive, however, the requirement that proposers attend the Pre-Proposal Meeting and that Proposals be received by the Authority prior to the deadline for submission.**

### *C. Additional Cause for Rejection*

In addition to any other cause for rejection of a submittal stated in this Invitation, a proposal may also be rejected if there is evidence of collusion among proposers, if the proposer submitting it is in default or arrears under any prior or existing contract with the Authority or any other State of Rhode Island department or agency, or there is an unresolved claim between the proposer and the Authority or any other State of Rhode Island department or agency.

Any direct contact made or attempted to be made by any Proposer with any Authority Board member prior to the selection of qualified Proposers will automatically disqualify a Proposer from any further consideration.

Proposers are advised that the Authority, as a quasi-public agency of the State of Rhode Island, its records, including statements submitted in response to this invitation, are public records unless otherwise exempted under state law.

**EXHIBIT A – PRICE PROPOSAL FORM**

**RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS**

**RHODE ISLAND CONVENTION CENTER AUTHORITY**

**Preconstruction CM Services as described in the RFP** for the RICC Fifth Floor Renovations, Fire Alarm scope of work and Exterior Door Replacement in the form of a Lump Sum Price:

\$ \_\_\_\_\_ (dollars)

Preconstruction CM Services for the 3<sup>rd</sup> Floor Rotunda Infill scope of work through Schematic Design in the form of a Lump Sum Price:

\$ \_\_\_\_\_ (dollars)

**General Conditions after the GMP is accepted for Construction and Close out per the RFP: Provide a completed Exhibit A that backs up the number below. (This does not Include the 3<sup>rd</sup> Floor Rotunda Infill Scope)**

Construction Phase General Conditions in the form of a Lump Sum Price (See matrix below):

\$ \_\_\_\_\_ (dollars)

**Construction Management Fee (Assume a budget of \$8.9M)**

- See matrix below for those items to be included in the fee.
- Fee will be converted to a lump sum at the time of the GMP.

\_\_\_\_\_ % (percentage)

(This will also be used for any CM change orders or additional GMP)

**Change Order Markup for subcontractors to use on their changes:**

\_\_\_\_\_ % (percentage)

**EXHIBIT A – PRICE PROPOSAL FORM CONT.**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

<b>EXHIBIT A Construction Phase</b>	<b>U/M</b>	<b>Qty</b>	<b>UNIT \$</b>	<b>TOTAL COST</b>	<b>In Fee</b>	<b>In General Conditions</b>	<b>In Cost of Work</b>
<b>DESCRIPTION (Add rows for staff if needed)</b>							
Project Executive	DAYS					✓	
Project Manager	WEEKS					✓	
Project Superintendent	WEEKS					✓	
Project Engineer	WEEKS					✓	
Area Superintendent #1	WEEKS					✓	
Area Superintendent #2	WEEKS					✓	
Estimating (if needed in construction)	DAYS					✓	
Purchasing (if needed in construction)	DAYS					✓	
Jobsite Admin	WEEKS					✓	
Project Accountant	DAYS					✓	
Cost Control	DAYS					✓	
Shop Drawing / M & E Coordinator	DAYS					✓	
Safety Engineer	DAYS					✓	
						✓	
						✓	
						✓	
Legal Certified Survey	LS						✓
Survey & Layout	MONTH						✓
Survey Equipment and Supplies	MONTH						✓
Travel Expenses (Not vehicles or jobsite staff travel)	LS					✓	
Small Tools	MONTH						✓

<b>EXHIBIT A Construction Phase</b>	<b>U/M</b>	<b>Qty</b>	<b>UNIT \$</b>	<b>TOTAL COST</b>	<b>In Fee</b>	<b>In General Conditions</b>	<b>In Cost of Work</b>
Temporary Partitions	SFWA						✓
Temporary Stairs and Ladders	EACH						✓
Temporary Railings	LF						✓
Temporary Protection	SF						✓
Drawing Reproduction	SETS						✓
Testing And Inspection	LS						✓
Mock-Ups	LS						✓
Temporary Electric Power System	EACH						✓
Temporary Electric Consumption	MONTH						✓
Temporary Lighting	LS						✓
Temporary Heating System	MONTH						✓
Temporary Heat - Fuel Consumption	MONTH						✓
Temporary Fire Protection / Fire Exting.	MONTH						✓
Field Office Set Up	EACH					✓	
Field Office Rental	WEEKS					✓	
Field Office Equipment	WEEKS					✓	
Field Office Furniture	WEEKS					✓	
Field Office Supplies	WEEKS					✓	
IT Set Up	LS					✓	
Internet Monthly Charges	MONTH					✓	
Jobsite Cell Phones	MONTH					✓	
Telephone Connection Cost	LS					✓	
Monthly Phone Charges (land line on jobsite)	MONTH					✓	
Monthly Phone Charges (Home Office)	MONTH				✓		
Temporary Water Service	EACH						✓



<b>EXHIBIT A Construction Phase</b>	<b>U/M</b>	<b>Qty</b>	<b>UNIT \$</b>	<b>TOTAL COST</b>	<b>In Fee</b>	<b>In General Conditions</b>	<b>In Cost of Work</b>
Temporary Water Usage	MONTH						✓
Temporary Toilets	EA x MO					✓	
Scaffolding And Temporary Shoring	EACH						✓
Temporary Fencing / Barricades	LF						✓
Project Progress Photos	WEEKS					✓	
Personal Protection Equipment	WEEKS					✓	
First Aid Supplies	WEEKS					✓	
Daily Housekeeping	WEEKS						✓
Rubbish / Dumpster Pulls	LOAD						✓
Final Cleaning	SF						✓
Weather Protection	LS						✓
Temporary Signage / Safety Signage	EACH						✓
Postage And Courier Services	WEEKS					✓	
Building Permit Cost	LS						✓
Insurance Cost	LS						✓
Bond Cost	LS						✓
Overhead and Profit	%				✓		
<b>Total Construction Phase Services:</b>				\$			

**EXHIBIT A – PRICE PROPOSAL FORM CONT.**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

**The undersigned hereby declares that it is thoroughly familiar with the provisions of the RFP documents, and can fulfill its obligations, should it be selected as the successful Proposer.**

Proposer: \_\_\_\_\_

(Print Name of Company)

\_\_\_\_\_

(Print Name of authorized officer)

\_\_\_\_\_

(Signature of authorized officer)

(Date)

Address: \_\_\_\_\_

Contact: \_\_\_\_\_ Name: \_\_\_\_\_

Email: \_\_\_\_\_

Telephone: \_\_\_\_\_

**EXHIBIT B – MBE CERTIFICATION**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

The undersigned, a Proposer on the above construction project, hereby acknowledges to the Rhode Island Convention Center Authority, the undersigned’s obligations to meet the 10% minority business enterprise requirement of Chapter 37-14.1 of the R.I. Gen. Laws, and the regulations promulgated thereunder, if the undersigned is the successful Proposer on the project.

Additionally, if the undersigned is the successful Proposer, it shall, within ten working days of the establishment and acceptance of a GMP, prepare an MBE Compliance Plan and submit it to the Executive Director for approval. The Plan shall identify by MBE name, subcontract dollar amount, and type each subcontract that the undersigned anticipates will be awarded to MBE’s over the period of the project.

Additionally, the undersigned certifies that it is able to furnish labor that can work in harmony with all other elements of labor employed or to be employed on the project.

---

(Date)

---

(Name of Firm)

By: \_\_\_\_\_  
(Name of Person Signing Proposal and Title)

\_\_\_\_\_  
(Business Address)

\_\_\_\_\_  
(City and State)

**EXHIBIT C – PROJECT REFERENCES**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

**PROJECT 1**

Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Type of Services Provided and Dates: \_\_\_\_\_  
\_\_\_\_\_

Cost of Services Provided: \_\_\_\_\_

**PROJECT 2**

Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Type of Services Provided and Dates: \_\_\_\_\_  
\_\_\_\_\_

Cost of Services Provided: \_\_\_\_\_

**EXHIBIT C – PROJECT REFERENCES (continued)**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

**PROJECT 3**

Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Type of Services Provided and Dates: \_\_\_\_\_

\_\_\_\_\_

Cost of Services Provided: \_\_\_\_\_

**PROJECT 4**

Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Type of Services Provided and Dates: \_\_\_\_\_

\_\_\_\_\_

Cost of Services Provided: \_\_\_\_\_

**EXHIBIT C – PROJECT REFERENCES (continued)**

RHODE ISLAND CONVENTION CENTER FIFTH FLOOR RENOVATIONS

RHODE ISLAND CONVENTION CENTER AUTHORITY

**PROJECT 5**

Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Type of Services Provided and Dates: \_\_\_\_\_

\_\_\_\_\_

Cost of Services Provided: \_\_\_\_\_



# Providence Rhode Island Convention Center

A Metro Partners Development for  
The Convention Center Authority

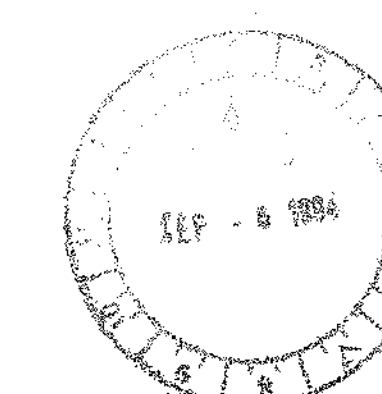
**Construction Manager**  
Gilbane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



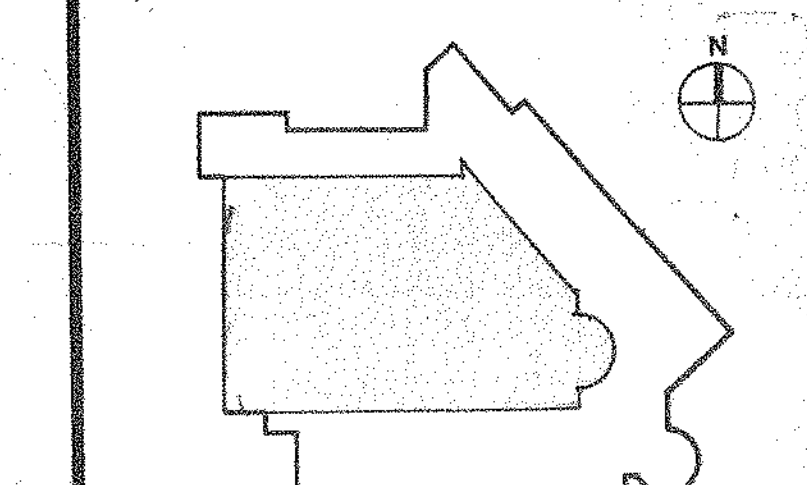
**Howard Needles Tammen & Bergendoff**  
Architects  
Suite 4200 Prudential Center  
Boston, MA 02199  
(617) 267-6710



NOTES:  
1. PARKING - SEE SPACING



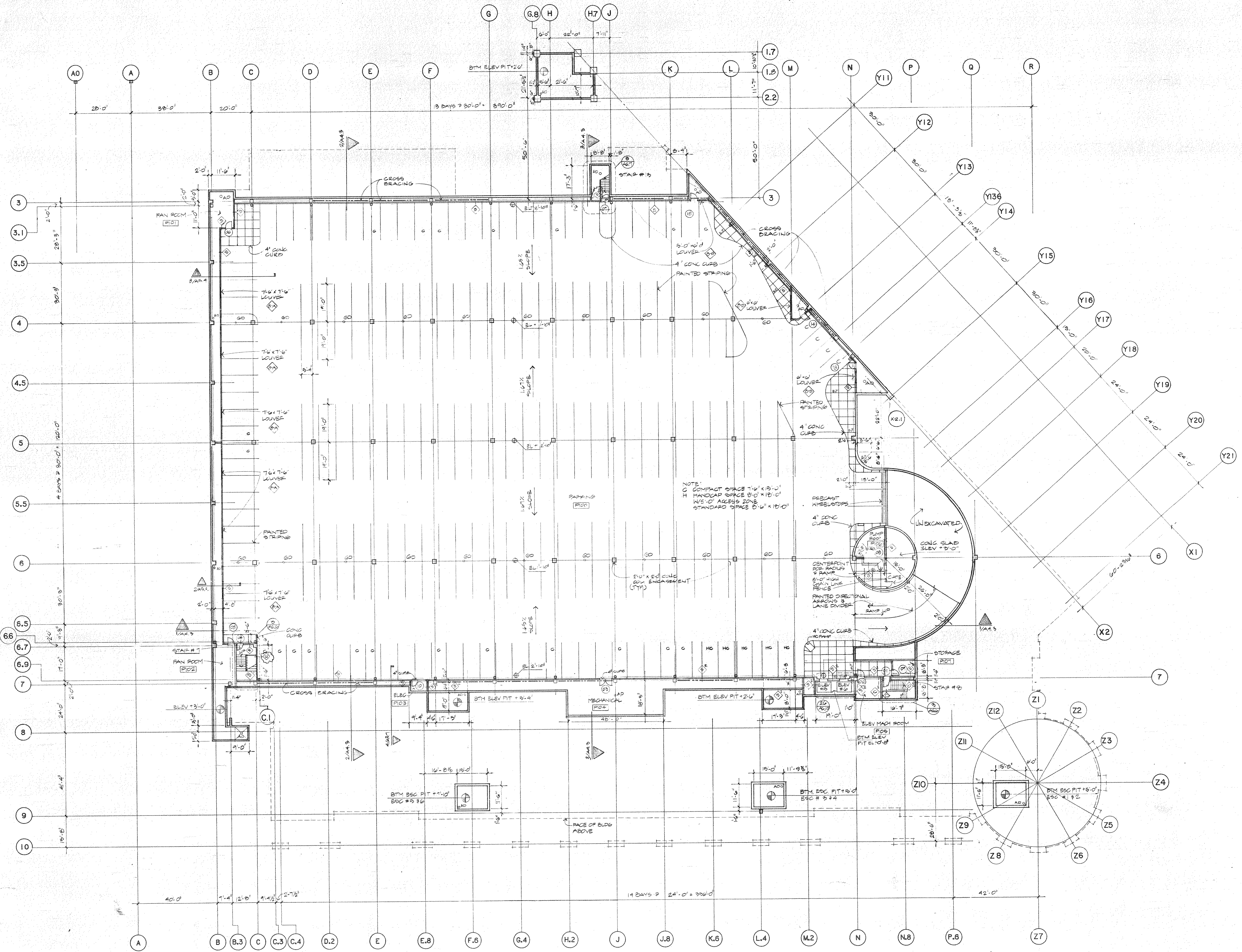
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1	BIDS	5 NOV 90
2	CONSTRUCTION	3 DEC 90
3	ACCUMULATION #2	22 DEC 90
4	BULLETIN #1	22 DEC 91
5	BULLETIN #2	22 DEC 91
6	BULLETIN #3	20 AUG 91
7	BULLETIN #4	2 JUL 91
8	BULLETIN #5	20 AUG 91
9	BULLETIN #6	2 MAY 91
10	BULLETIN #7	22 DEC 91
11	BULLETIN #8	22 DEC 91
12	BULLETIN #9	22 DEC 91
13	BULLETIN #10	22 DEC 91
14	BULLETIN #11	22 DEC 91
15	BULLETIN #12	22 DEC 91
16	BULLETIN #13	22 DEC 91
17	BULLETIN #14	22 DEC 91
18	BULLETIN #15	22 DEC 91
19	BULLETIN #16	22 DEC 91
20	BULLETIN #17	22 DEC 91
21	BULLETIN #18	22 DEC 91
22	BULLETIN #19	22 DEC 91
23	BULLETIN #20	22 DEC 91
24	BULLETIN #21	22 DEC 91
25	BULLETIN #22	22 DEC 91
26	BULLETIN #23	22 DEC 91
27	BULLETIN #24	22 DEC 91
28	BULLETIN #25	22 DEC 91
29	BULLETIN #26	22 DEC 91
30	BULLETIN #27	22 DEC 91
31	BULLETIN #28	22 DEC 91
32	BULLETIN #29	22 DEC 91
33	BULLETIN #30	22 DEC 91
34	BULLETIN #31	22 DEC 91
35	BULLETIN #32	22 DEC 91
36	BULLETIN #33	22 DEC 91
37	BULLETIN #34	22 DEC 91
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39	BULLETIN #36	22 DEC 91
40	BULLETIN #37	22 DEC 91
41	BULLETIN #38	22 DEC 91
42	BULLETIN #39	22 DEC 91
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95	BULLETIN #92	22 DEC 91
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97	BULLETIN #94	22 DEC 91
98	BULLETIN #95	22 DEC 91
99	BULLETIN #96	22 DEC 91
100	BULLETIN #97	22 DEC 91
101	BULLETIN #98	22 DEC 91
102	BULLETIN #99	22 DEC 91
103	BULLETIN #100	22 DEC 91



## LOWER LEVEL PLAN

Project No. 13445 Sheet of  
Drawing No.

# A2.1





# Providence Rhode Island Convention Center

A Metro Partners Development for  
The Convention Center Authority

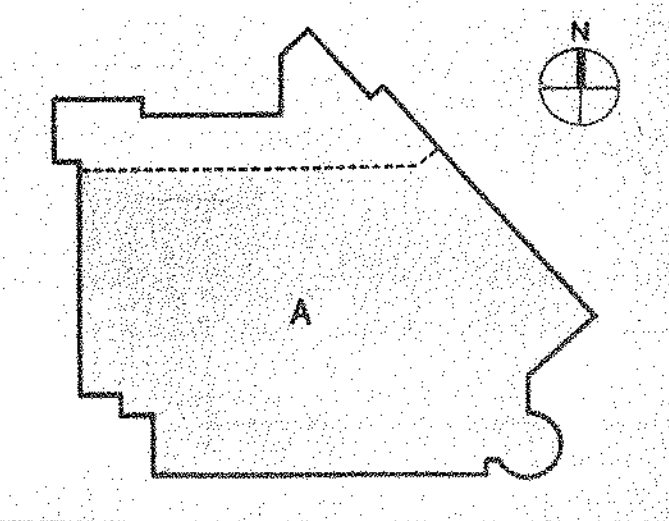
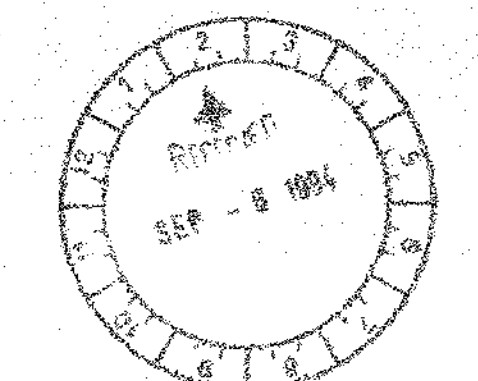
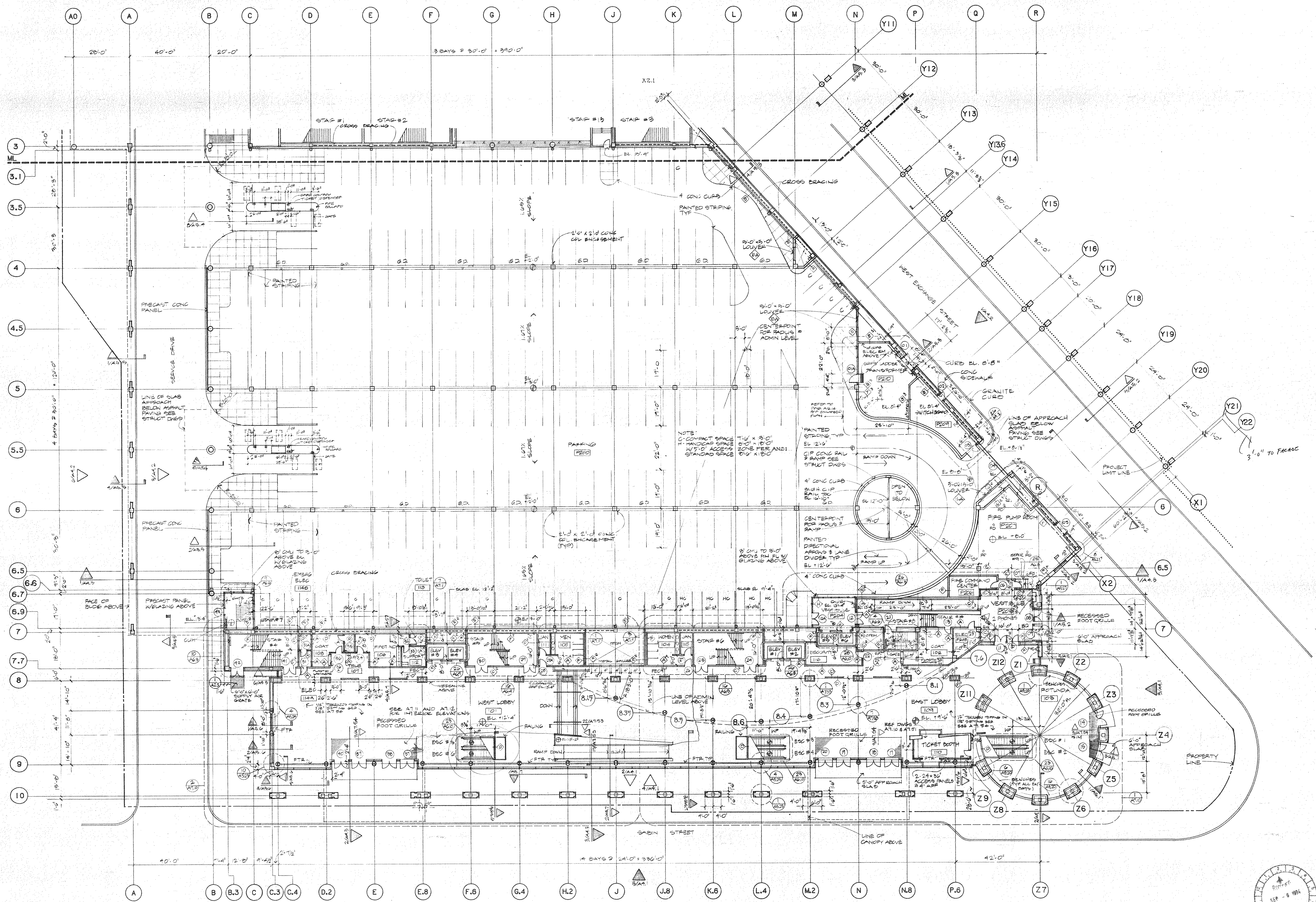
Construction Manager  
Gilbane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



Howard Needles Tammen & Bergendoff  
Suite 4200 Prudential Center  
Boston, MA 02199  
(617) 267-6710



- NOTES:
1. CONCRETE CONSTRUCTION AT TRANSITION VAULT FOR EXISTING BRIDGE SHALL BE VERTICAL FINISH. BRIDGE CONSTRUCTION OF 1-1/2" GAP & 3/8" DIA. IN A SQUARE BOTTOM SHALL BE BRIDGE AND 1-1/2" GAP & 3/8" DIA. IN A RECTANGULAR BOTTOM SHALL BE BRIDGE. STANDARD 3/8" DIA. HORIZONTAL REINFORCING @ 12" O.C. VERTICAL SHALL ALSO BE PROVIDED.
  2. CONCRETE CONSTRUCTION AT TRANSITION VAULT FOR EXISTING BRIDGE SHALL HAVE VERTICAL FINISH. BRIDGE CONSTRUCTION OF 1-1/2" GAP & 3/8" DIA. IN A RECTANGULAR BOTTOM SHALL BE BRIDGE. STANDARD 3/8" DIA. HORIZONTAL REINFORCING @ 12" O.C. VERTICAL SHALL ALSO BE PROVIDED.
  3. TYPICAL CURB SHALL BE 24" HIGH. ELEVATION SHALL BE AS PER DIM. 055.
  4. FINISH ELEVATION AT JOINT WHERE PROJECT ABUTS AT OTHER MATERIAL SHALL BE 1/4" BELOW CURB TOP.
  5. PARKING - 217 SPACES.



Title:  
**STREET LEVEL PLAN SEGMENT A**

Project No. 13445 Sheet of

**A2.2**

Handwritten notes and calculations:

1.75 x 16 = 28  
3.00 x 14 = 42  
122  
1344  
4444  
572

5.37 x 11.8 = 63.366  
2.77 x 11.8 = 32.686  
65.00

4450  
4400  
5800  
71.8







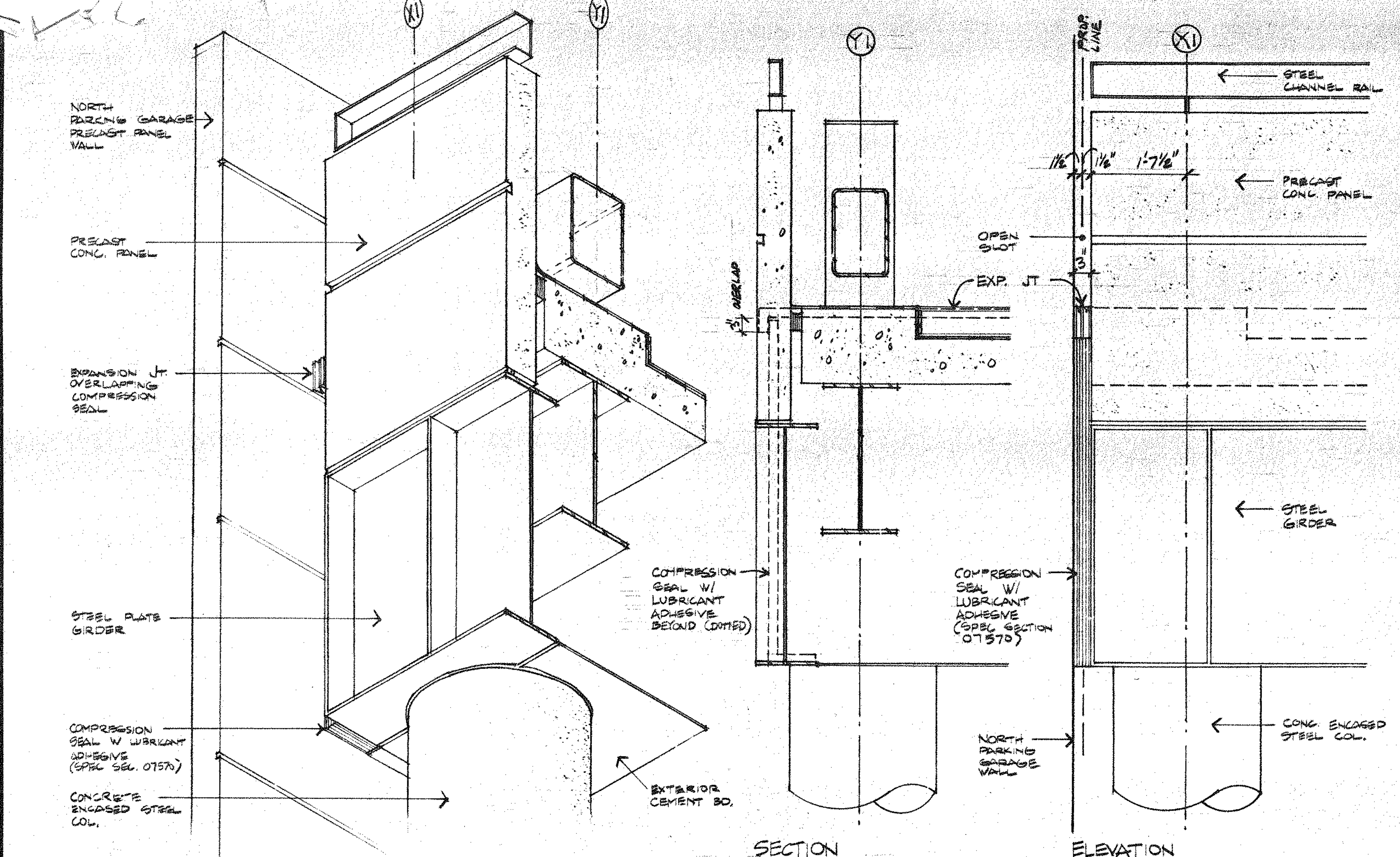
# Providence Rhode Island Convention Center

A Metro Partners Development for The Convention Center Authority

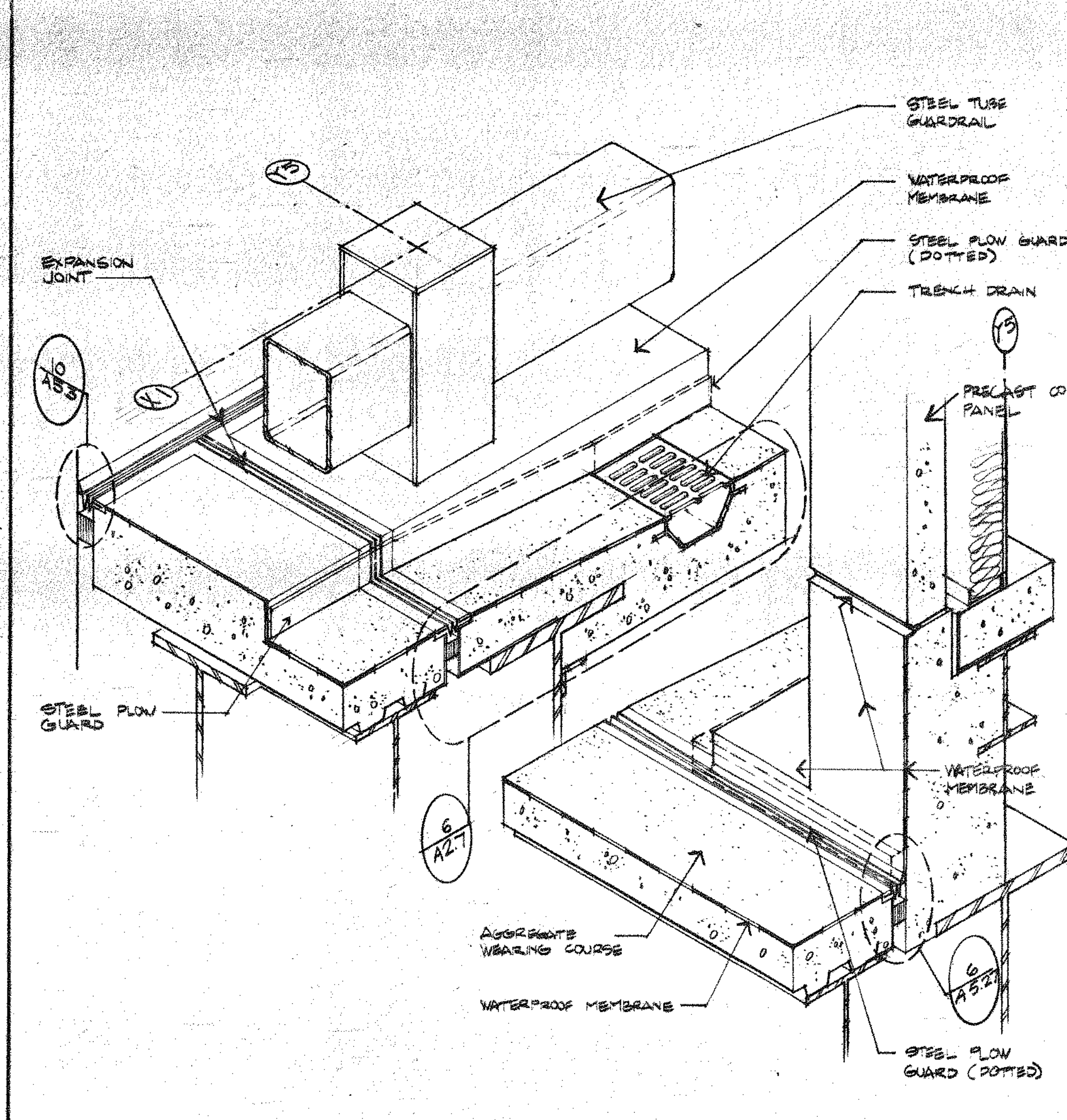
**Construction Manager**  
Gibane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



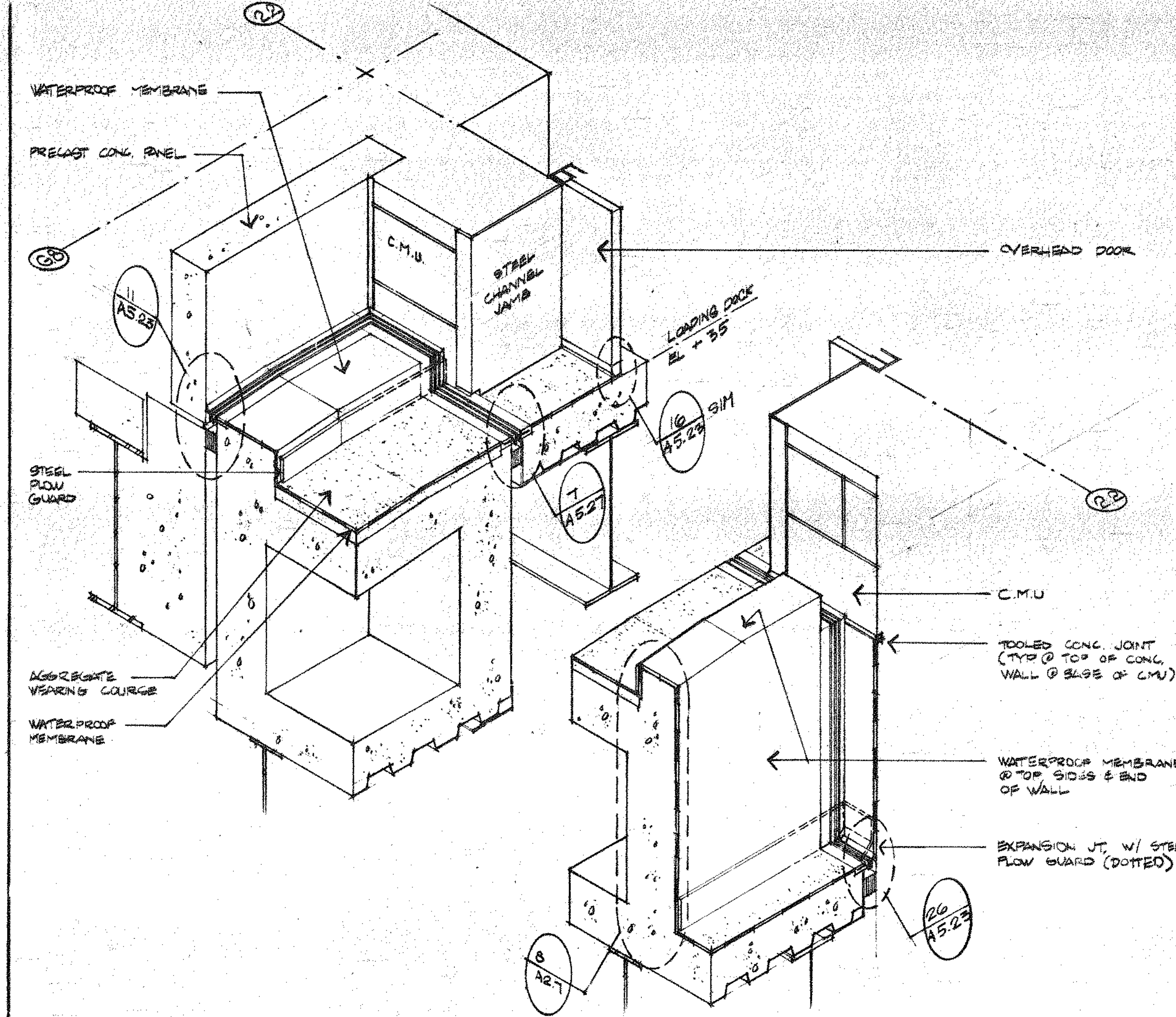
**Howard Needles Tammen & Bergendoff**  
Architects  
Suite 4200 Prudential Center  
Boston, MA 02199  
(617) 267-6710



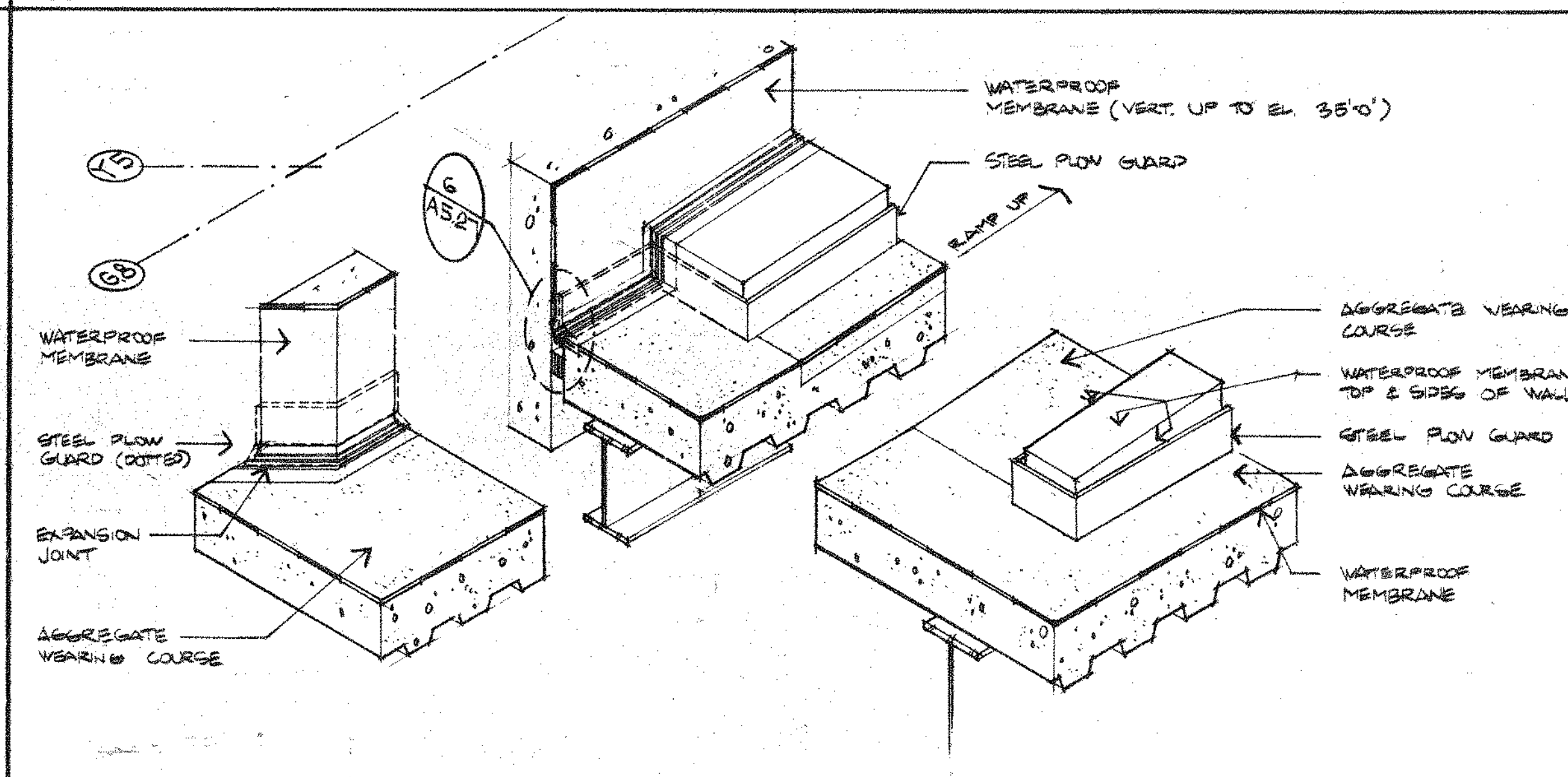
**3 ISOMETRIC VIEW** EDGE OF TRUCK DOCK @ COLS. X1-Y1  
SCALE 3/4" = 1'-0"



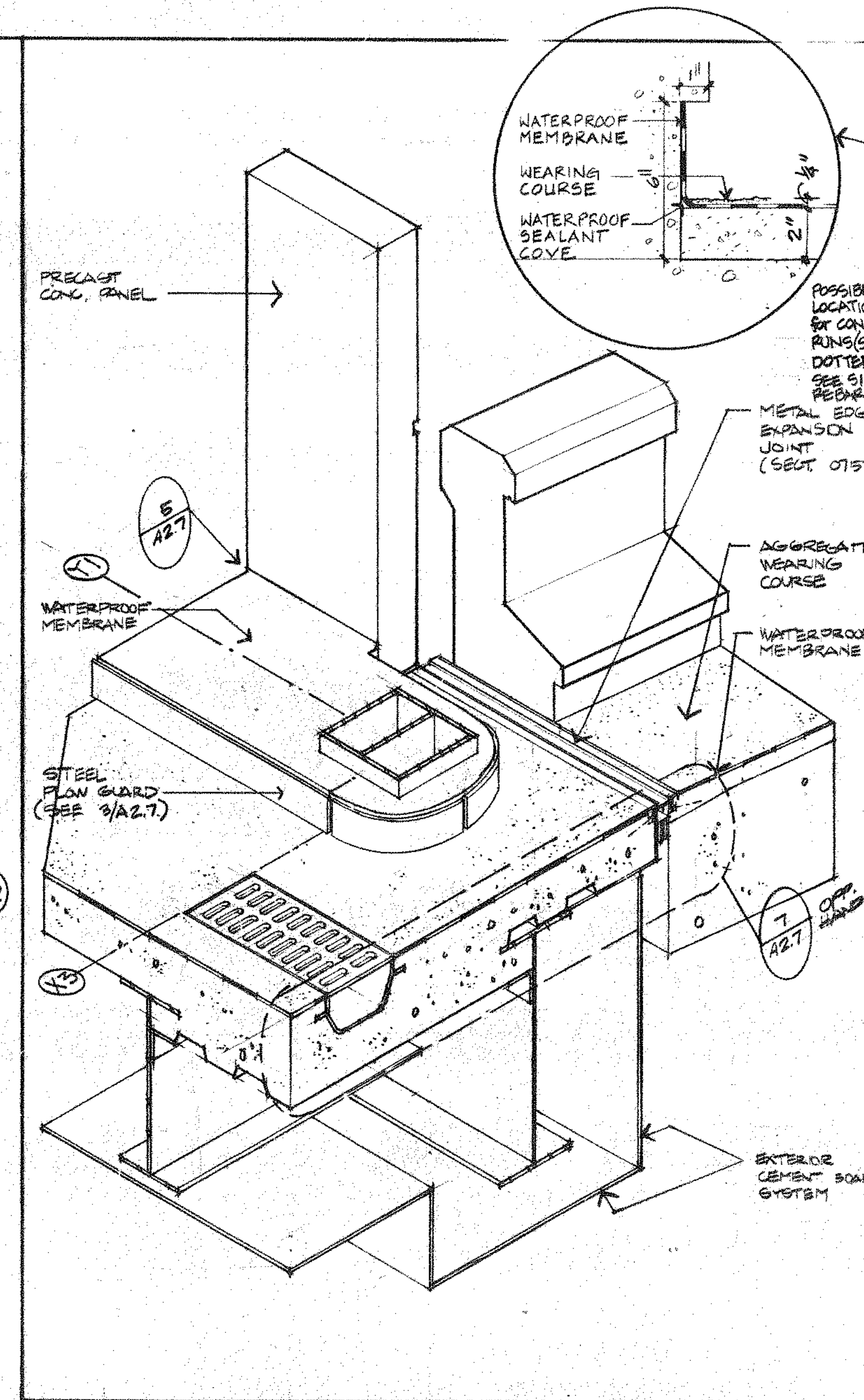
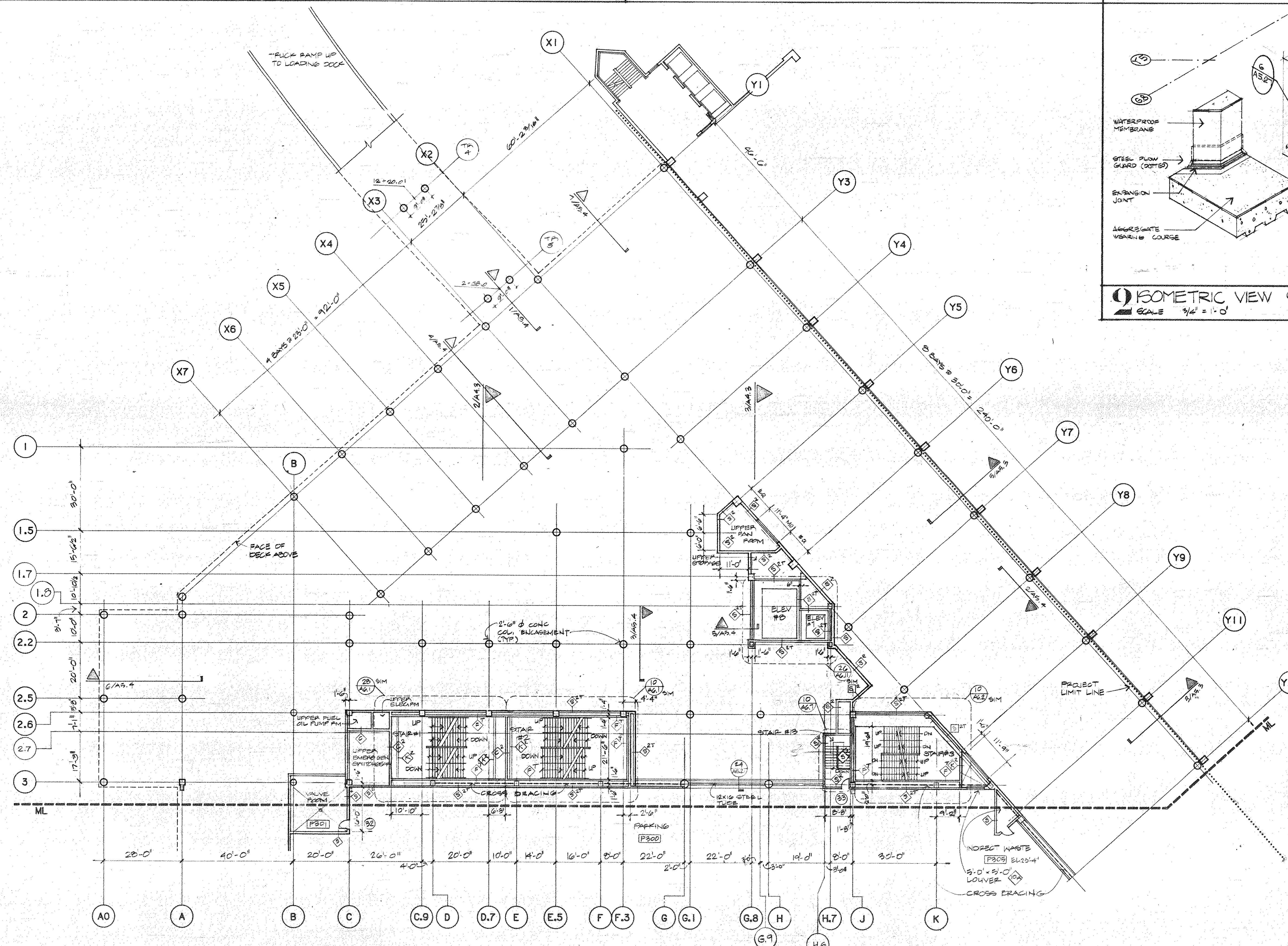
**4 ISOMETRIC VIEW** @ BOTTOM OF TRUCK RAMP  
SCALE 3/4" = 1'-0"



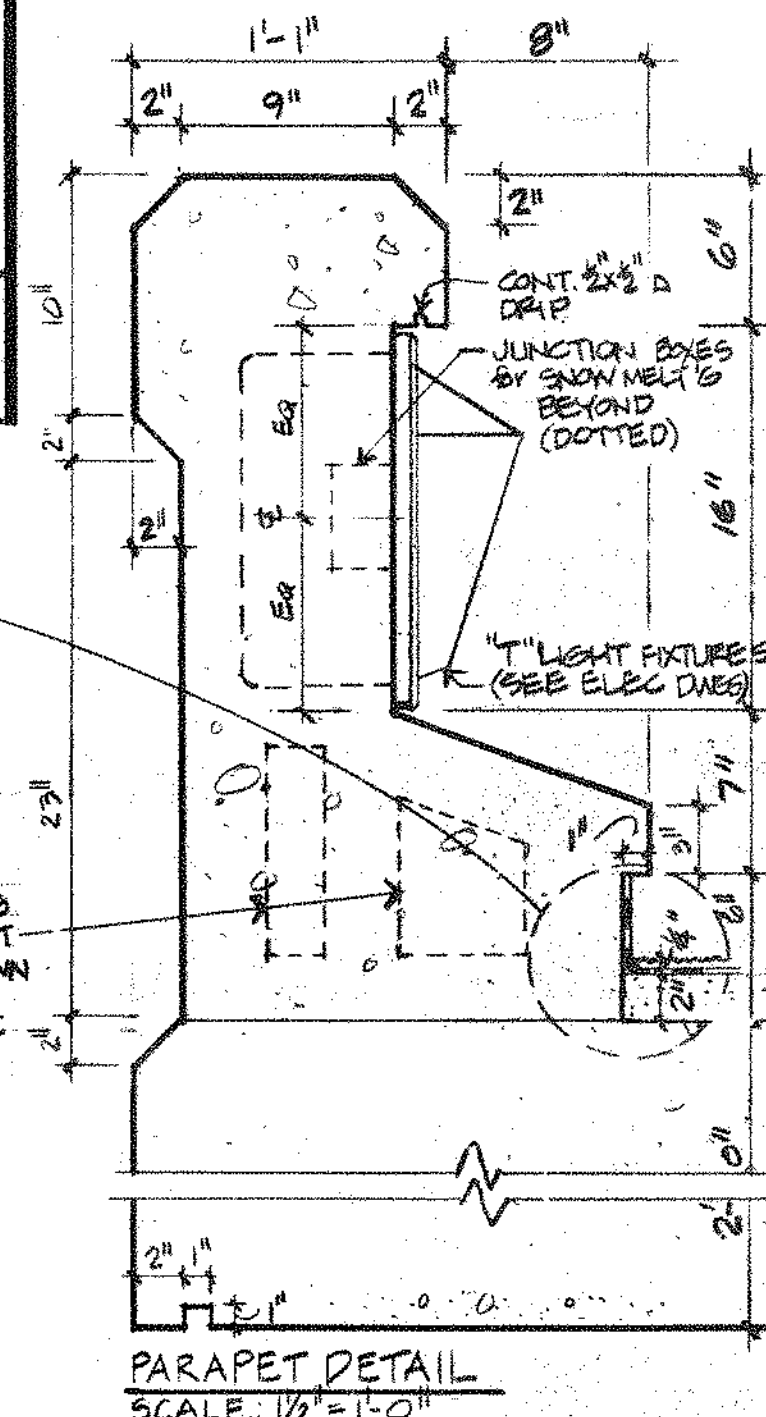
**1 ISOMETRIC VIEW** @ TOP OF TRUCK RAMP  
SCALE 3/4" = 1'-0"



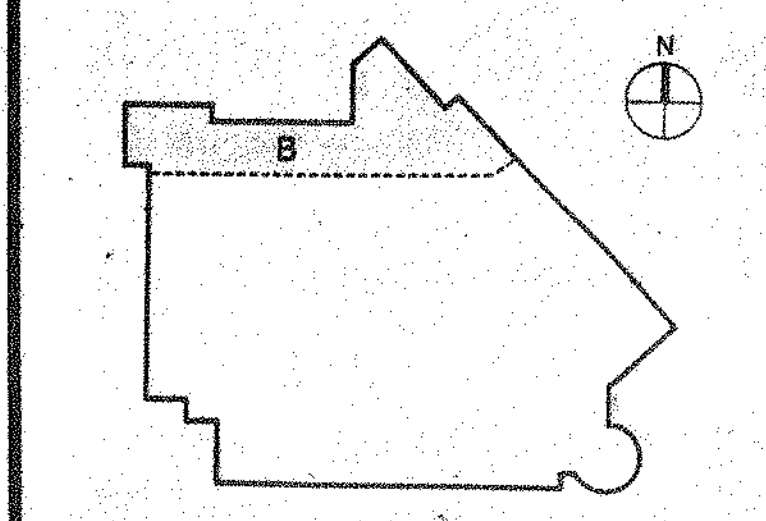
**2 ISOMETRIC VIEW** @ BOTTOM OF TRUCK RAMP  
SCALE 3/4" = 1'-0"



**5 ISOMETRIC VIEW** @ TOP OF TRUCK RAMP  
SCALE 3/4" = 1'-0"



No.	Issued For	Date
1	BIDS	5 NOV 90
2	CONSTRUCTION	3 DEC 90
3	ACCENDUM #2	22 FEB 91
4	ACCENDUM #1	20 SEP 90
5	BULLETIN #1	8 MAY 91
6	BULLETIN #4	2 JUL 91
7	BULLETIN #5	28 AUG 91
8	BULLETIN #6	24 FEB 92
9	BULLETIN #10	1 MAY 92
10	BULLETIN #12	31 MAY 92
11	ASBORD AD - BUILT	22 APR 94



**ADMINISTRATION LEVEL PLAN SEGMENT B**

Project No. 12445 Sheet of

**A2.5**



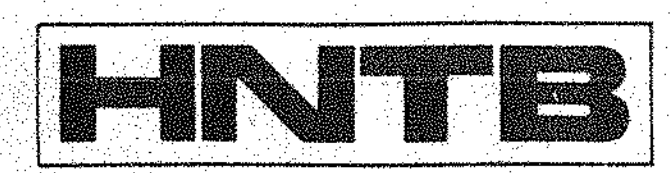




**Providence Rhode Island Convention Center**

A Metro Partners Development for the Convention Center Authority

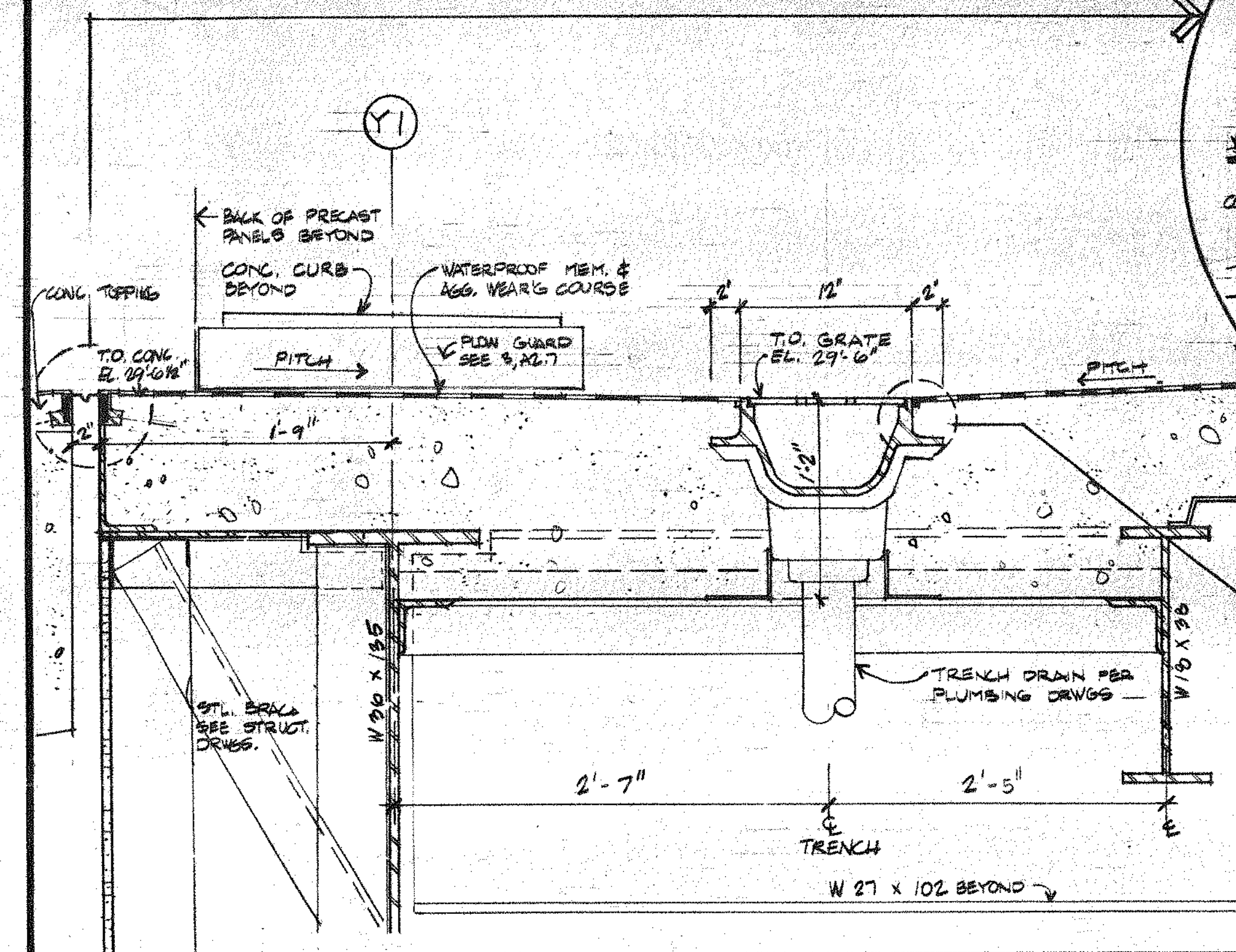
**Construction Manager**  
Gilbane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



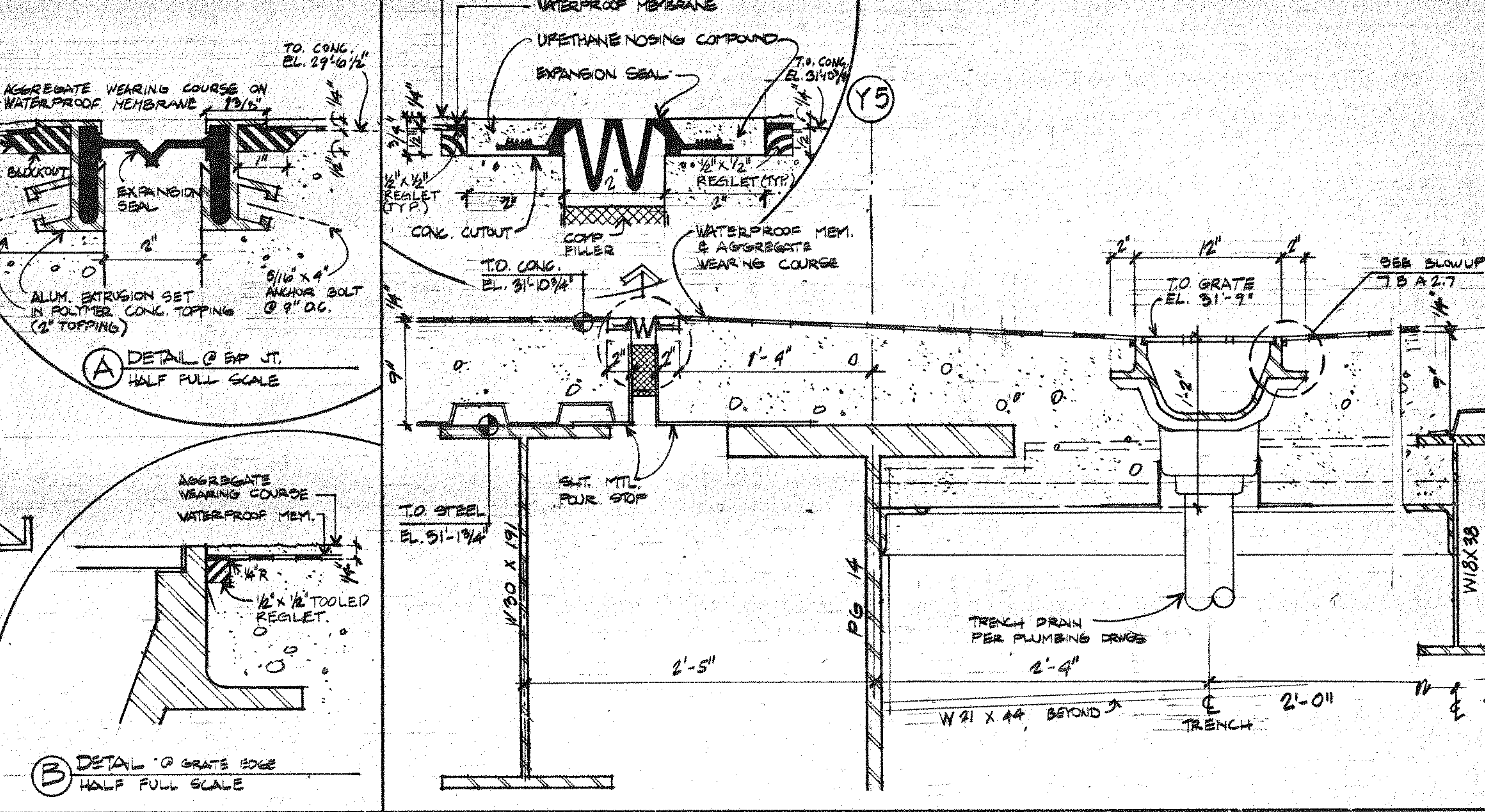
**Howard Needles Tammen & Bergendoff**  
Suite 4200 Prudential Center  
Boston, MA 02199  
(617) 267-6710



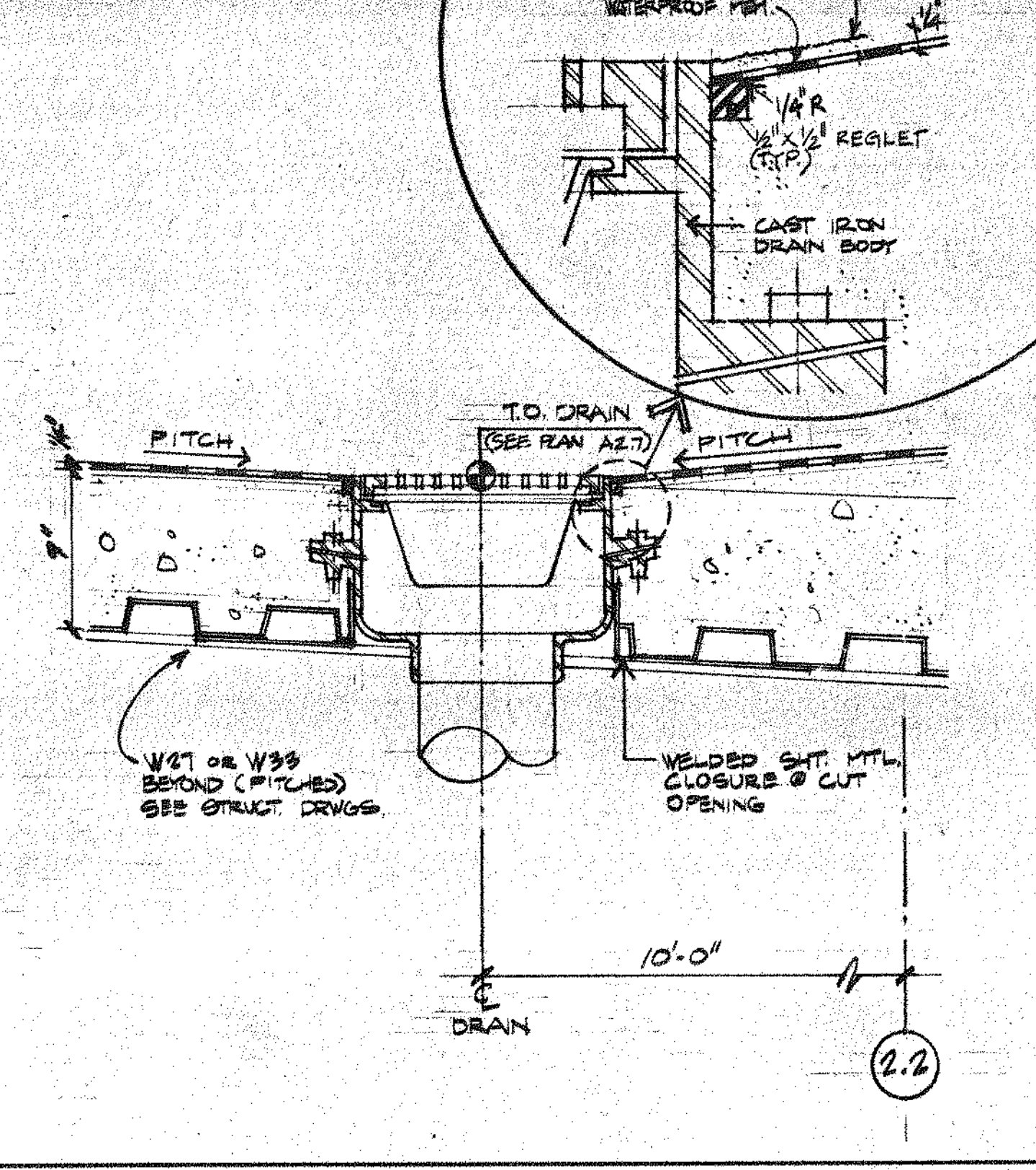
NOTE A: 1/4" MIN. MINIMUM STEEL CORNER ANGLE. BRIDGE CUT EXCESS. MAXIMUM ANCHORS @ 1'-0" O.C. MINIMUM.  
NOTE B: BULLDOGS CORNER BLOCK FULL HEIGHT.  
NOTE C: SUBMITTALS S.E. CORNER GUARD RAIL VINYL FACED CORNER BRACKETS.



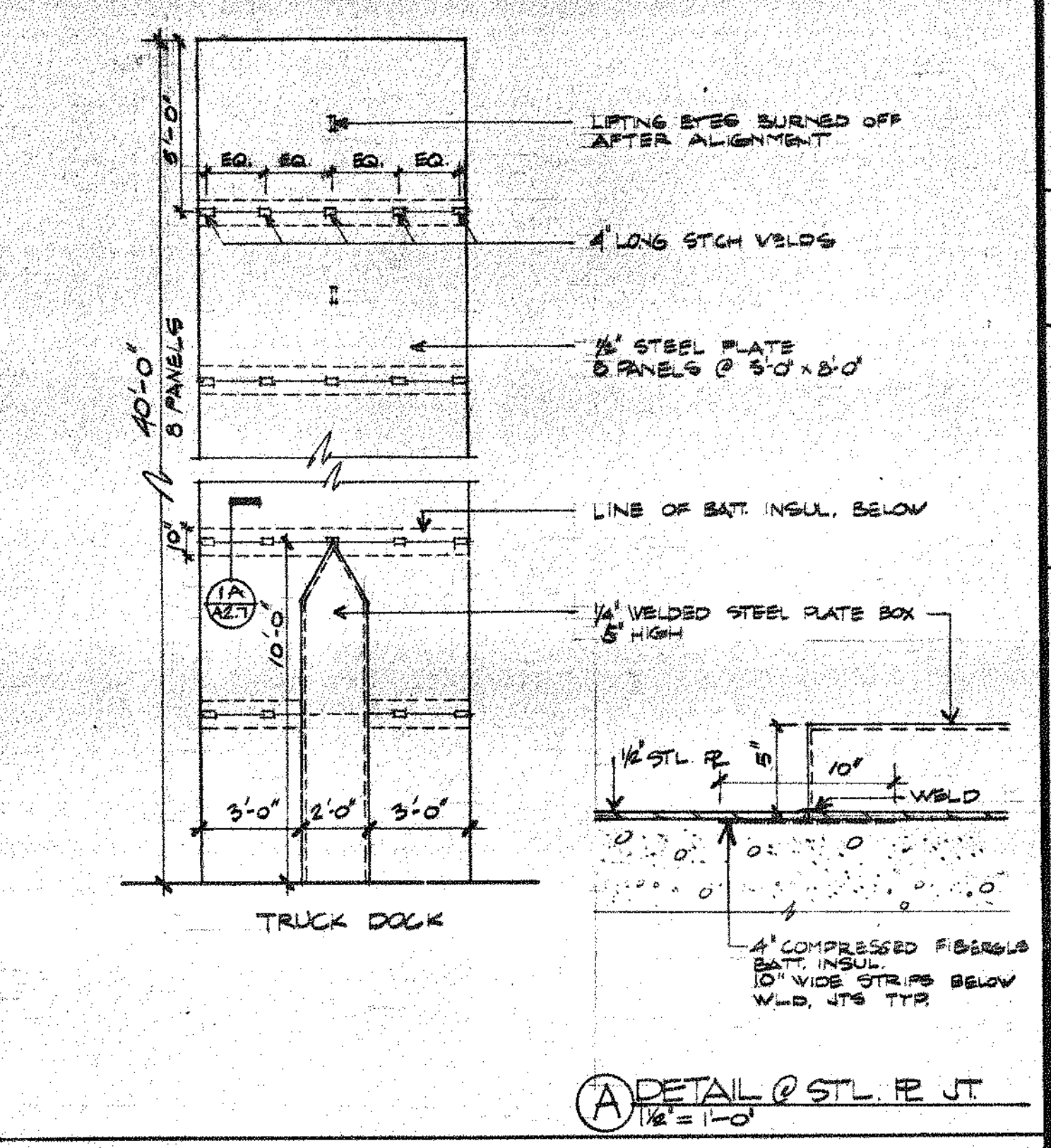
**SECTION TRENCH DRAIN @ TRUCK RAMP - COL. Y1**  
SCALE - 1/2" = 1'-0"



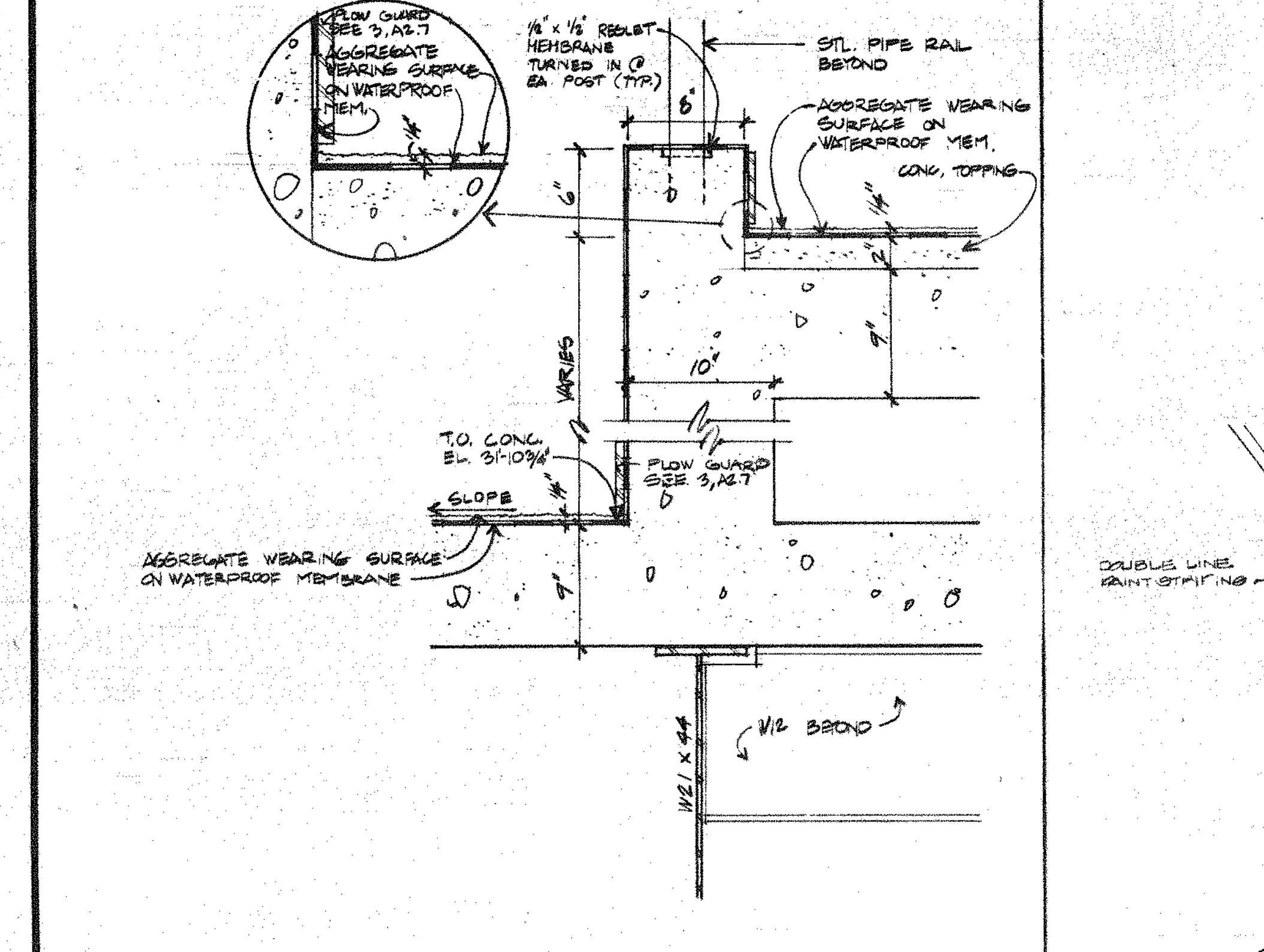
**SECTION TRENCH DRAIN @ ACCESS RAMP - COL. Y5**  
SCALE - 1/2" = 1'-0"



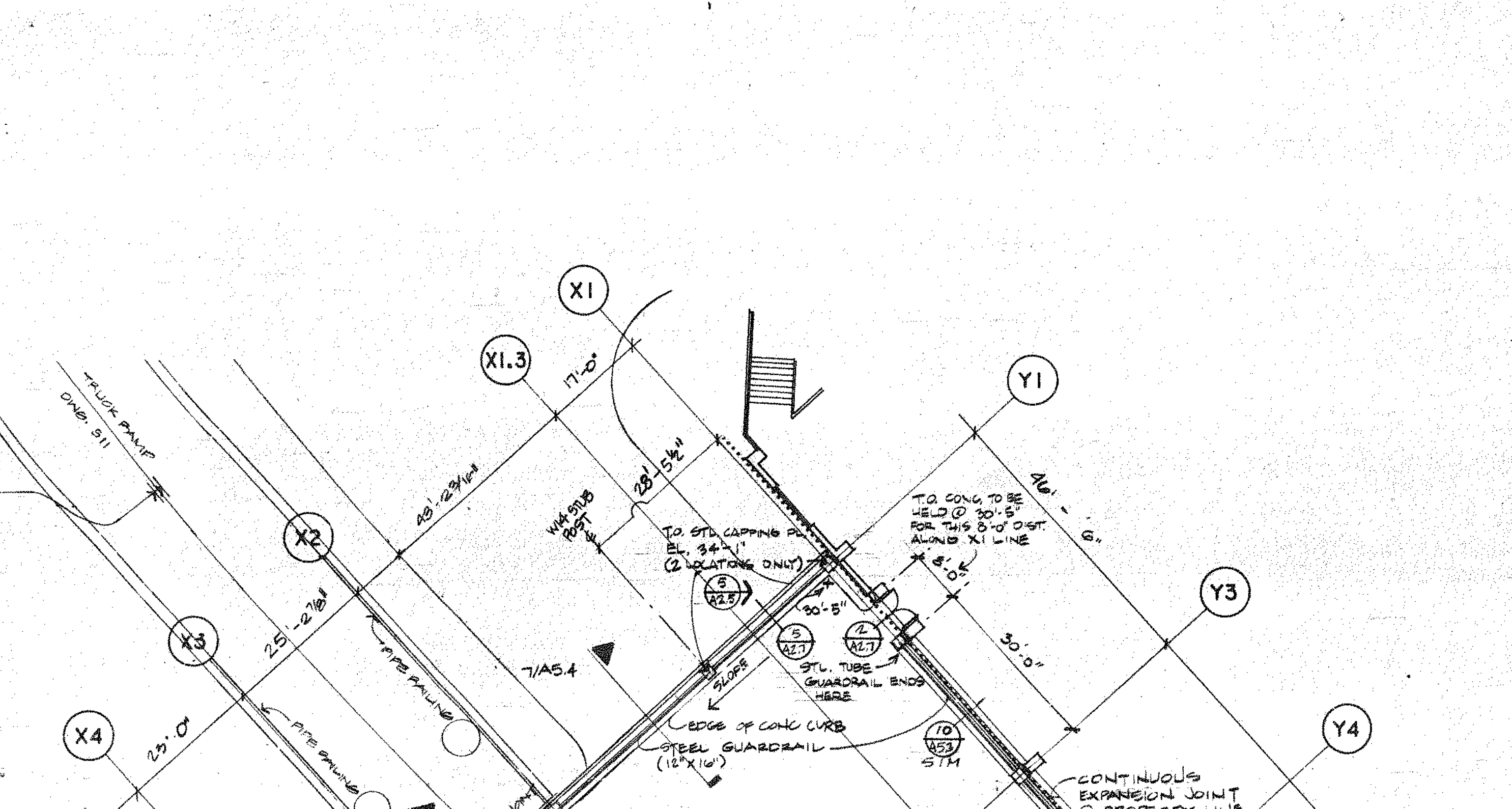
**SECTION AREA DRAIN @ LOADING DOCK**  
SCALE - 1/2" = 1'-0"



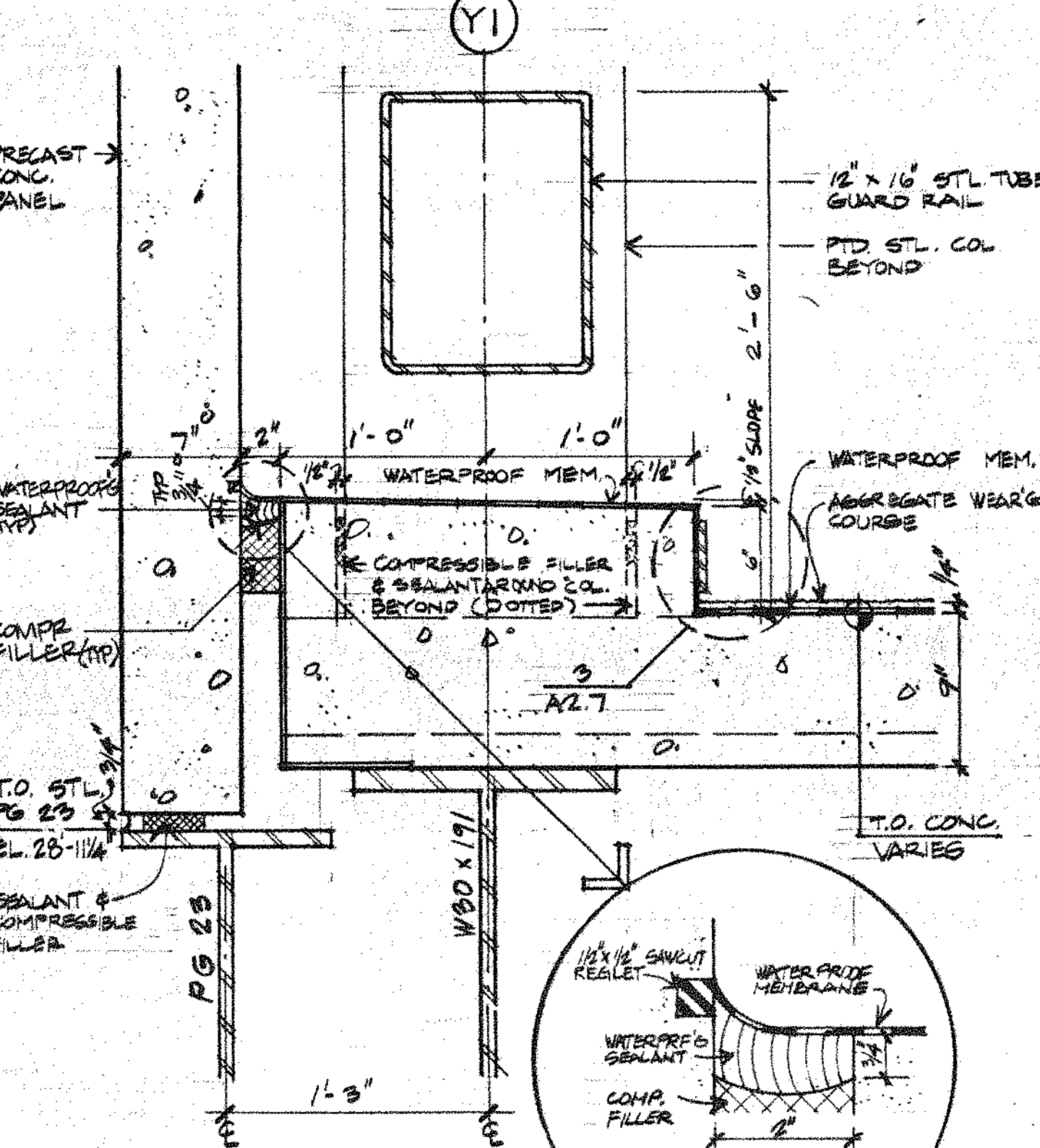
**PLAN STEEL PAD @ TRUCK COMPACTOR**  
SCALE - 1/4" = 1'-0"



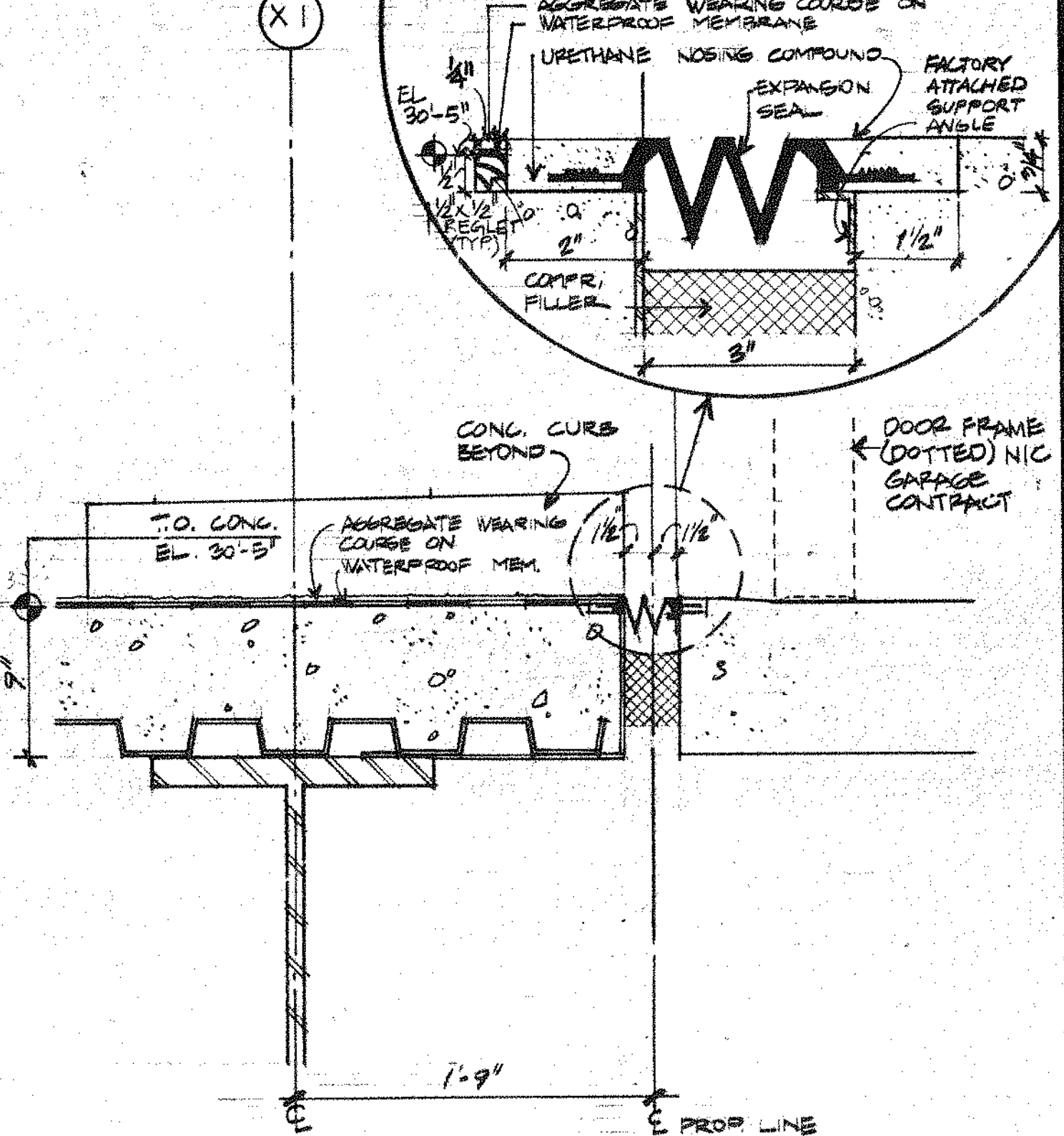
**SECTION CURB @ TRUCK RAMP**  
SCALE - 1/2" = 1'-0"



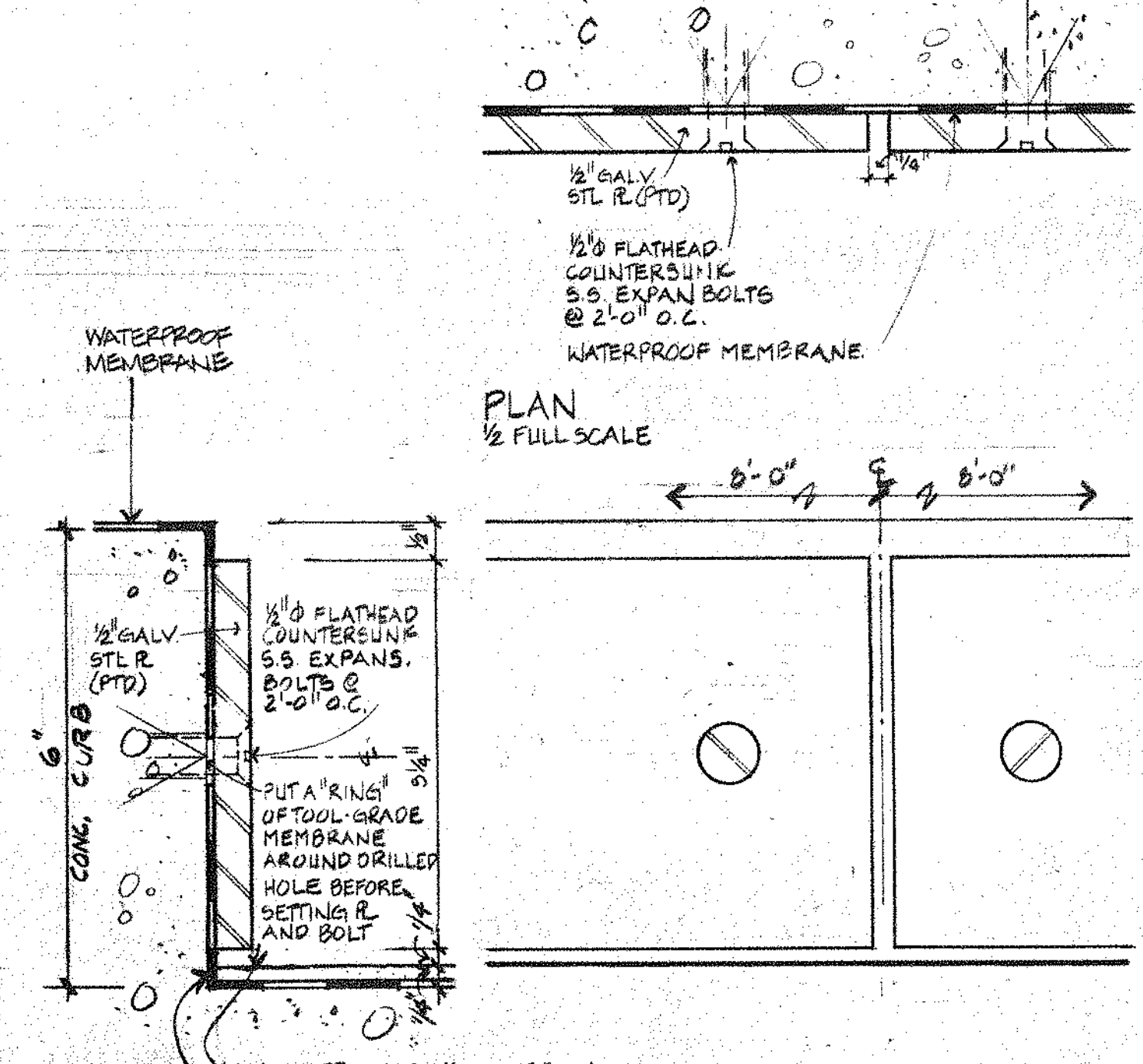
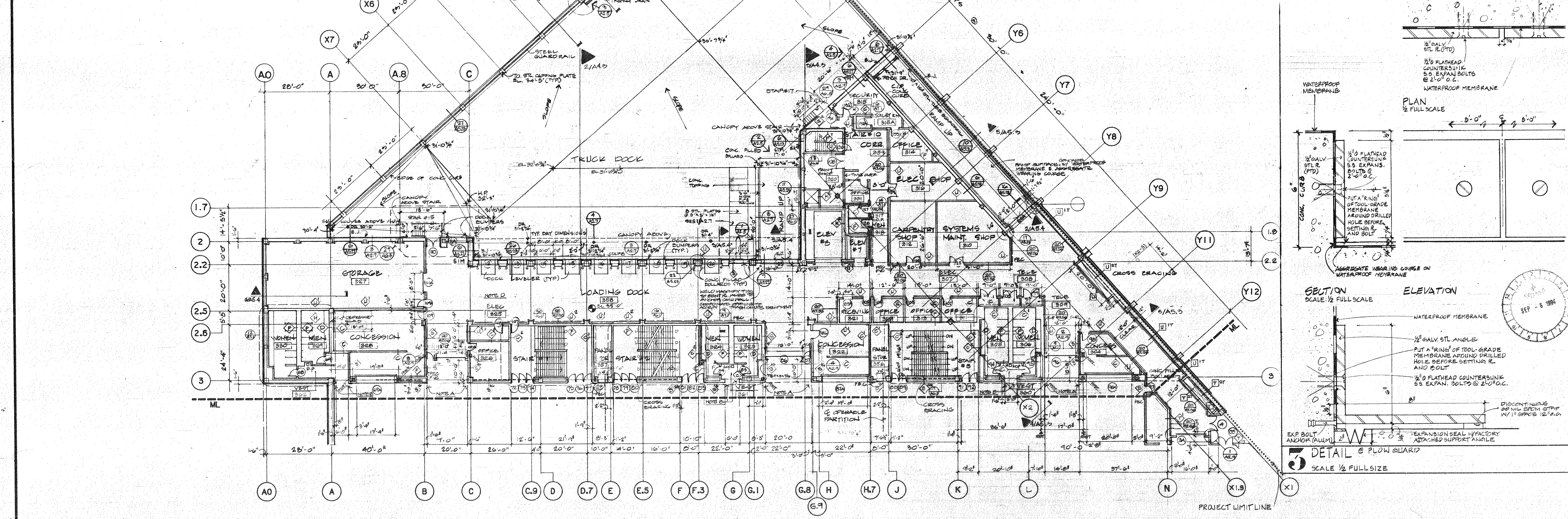
**SECTION @ GUARDRAIL OVER WEST EXCHANGE ST.**  
SCALE - 1/2" = 1'-0"



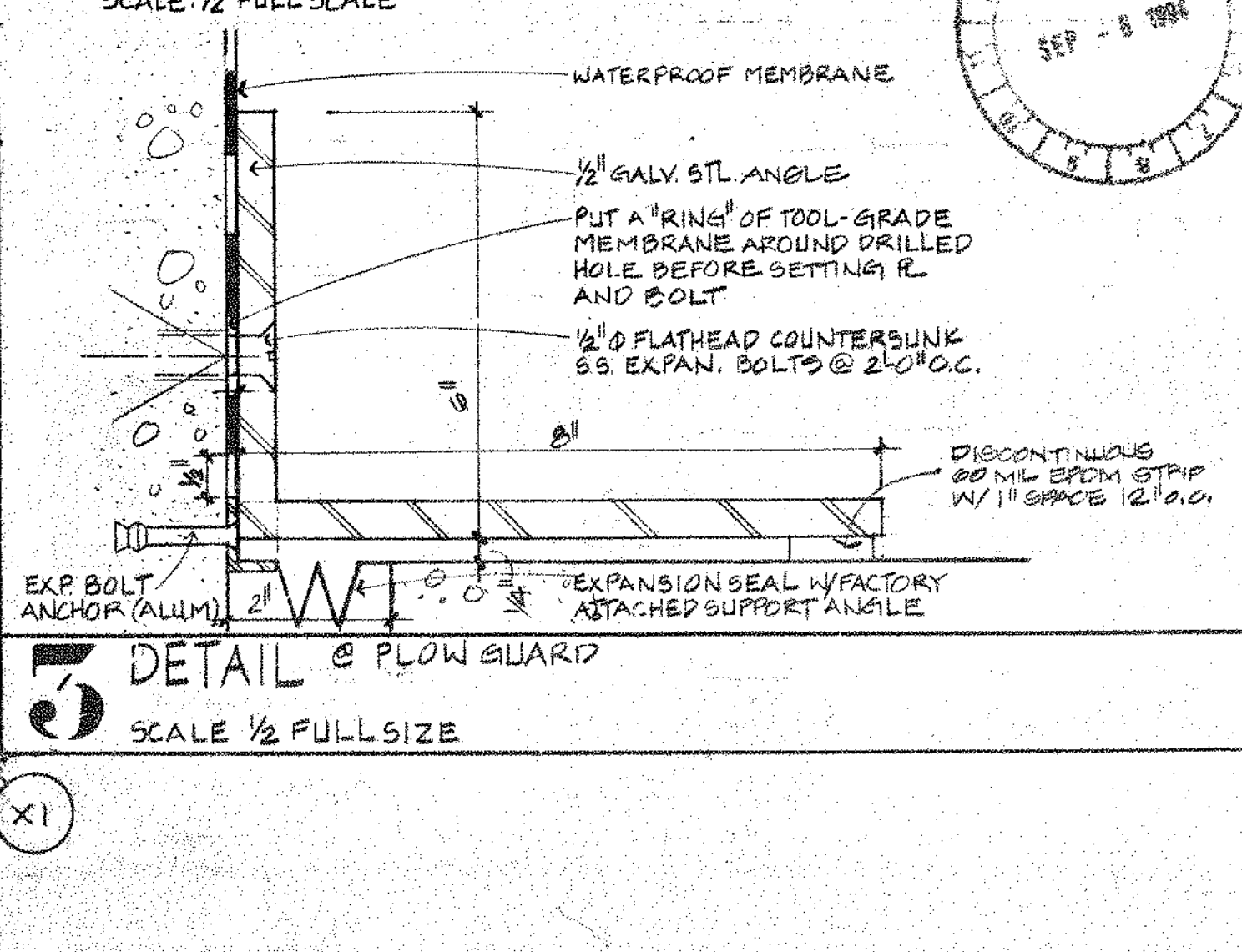
**SECTION @ FOREBAYWAY, COL. X1**  
SCALE - 1/2" = 1'-0"



**SECTION @ FOREBAYWAY, COL. X1**  
SCALE - 1/2" = 1'-0"



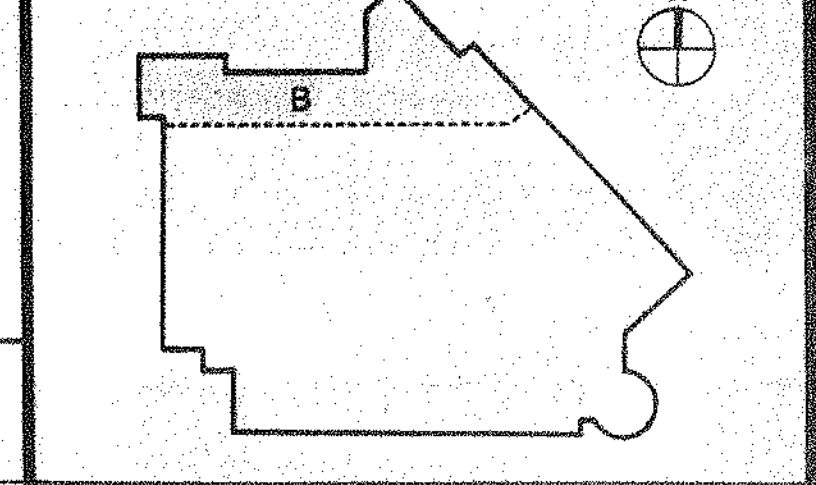
**SECTION @ FOREBAYWAY, COL. X1**  
SCALE - 1/2" = 1'-0"



**DETAIL @ FLOW GUARD**  
SCALE - 1/2" = 1'-0"

NO.	ISSUED FOR	DATE
1	BIDS	5 NOV 90
2	CONSTRUCTION	3 DEC 90
3		

RECORD AS-BUILT  
BULLETIN # 12  
BULLETIN # 8  
BULLETIN # 7  
BULLETIN # 5  
BULLETIN # 4  
BULLETIN # 3  
BULLETIN # 1  
ADDENDUM # 2  
ADDENDUM # 1



**EXHIBITION LEVEL PLAN SEGMENT B**

Project No. 13445 Sheet of

**A2.7**



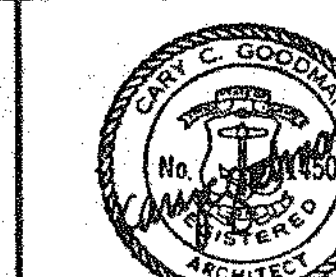
# Providence Rhode Island Convention Center

A Metro Partners Development for The Convention Center Authority

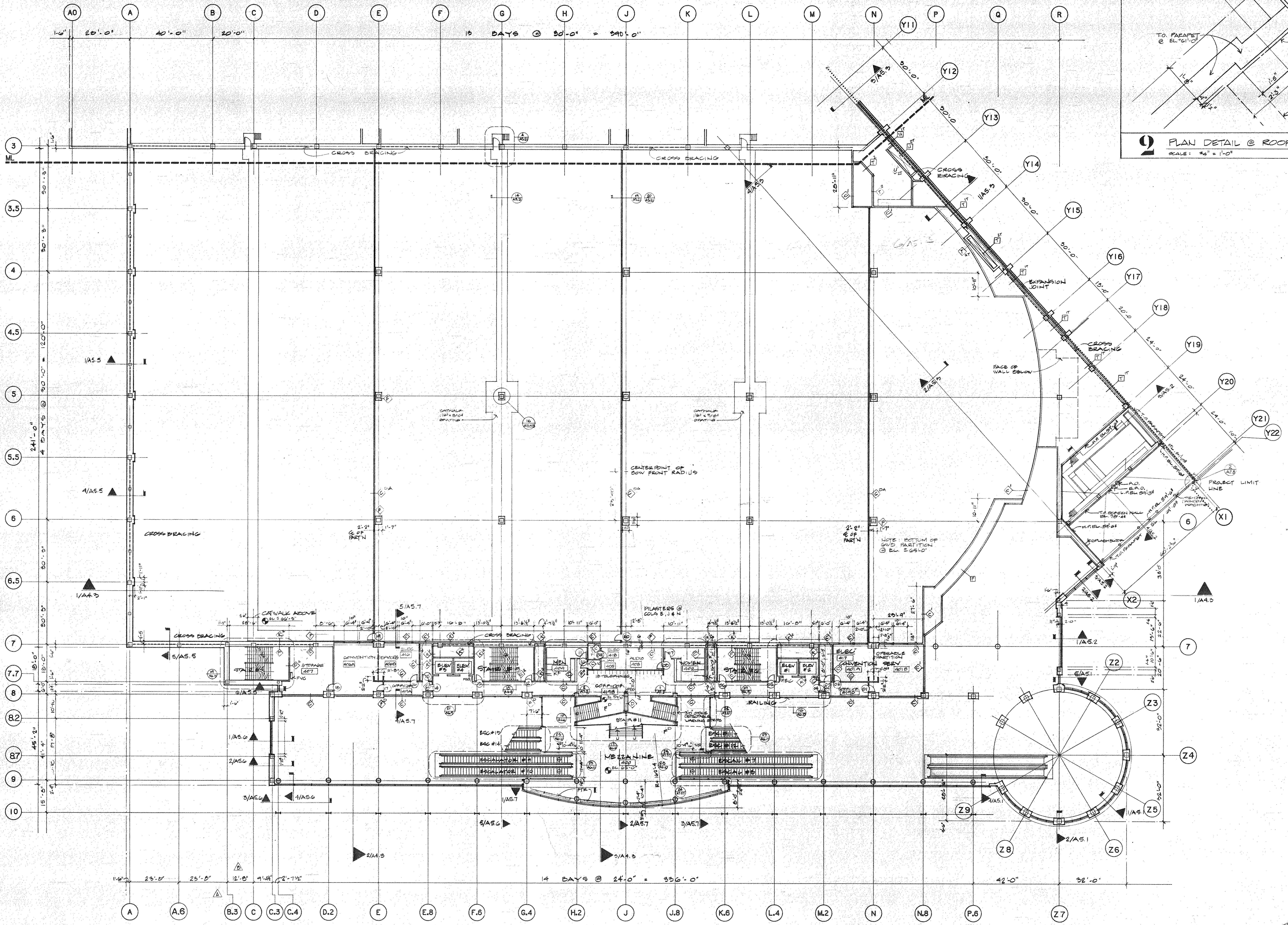
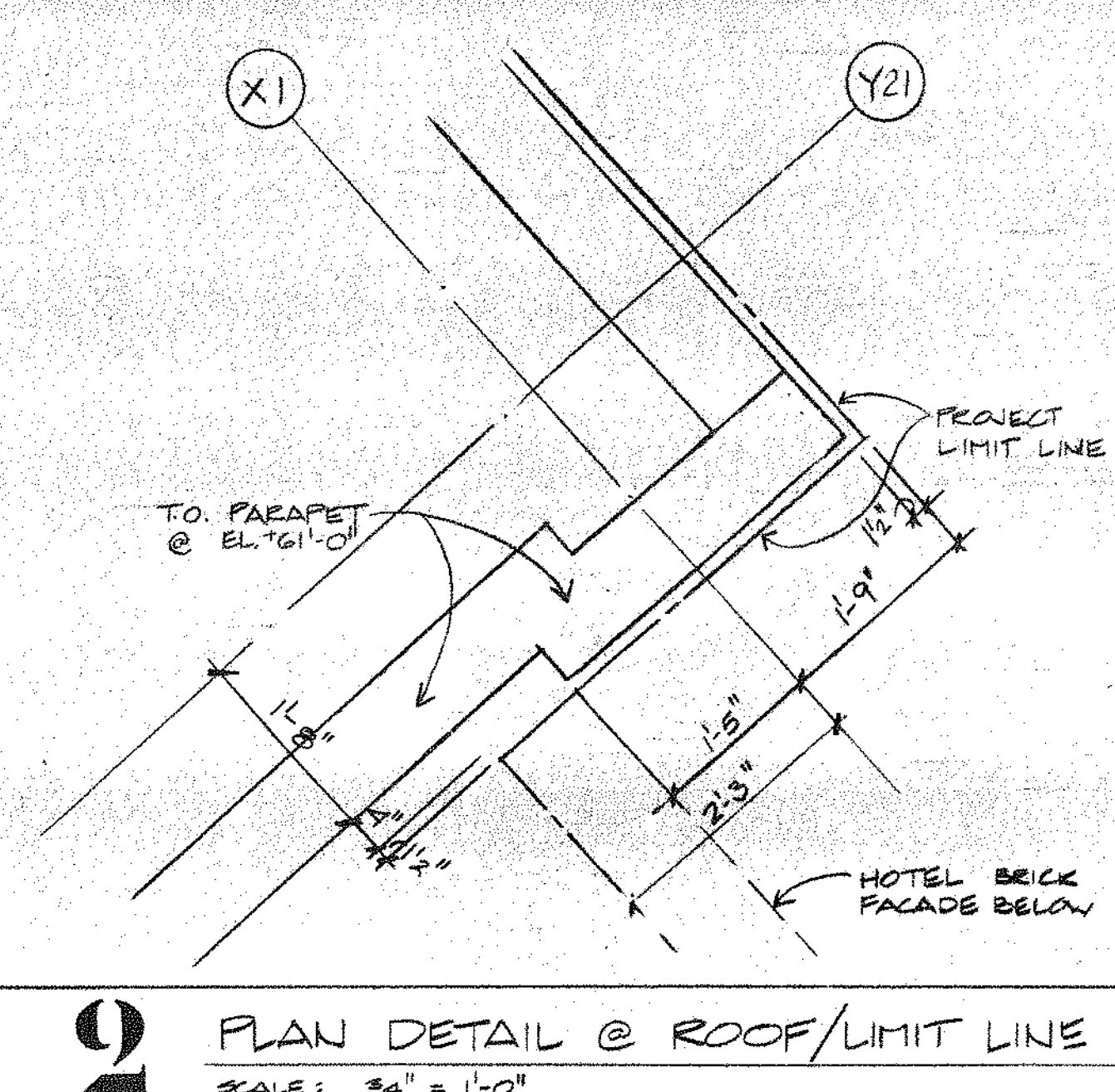
**Construction Manager**  
Gibane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



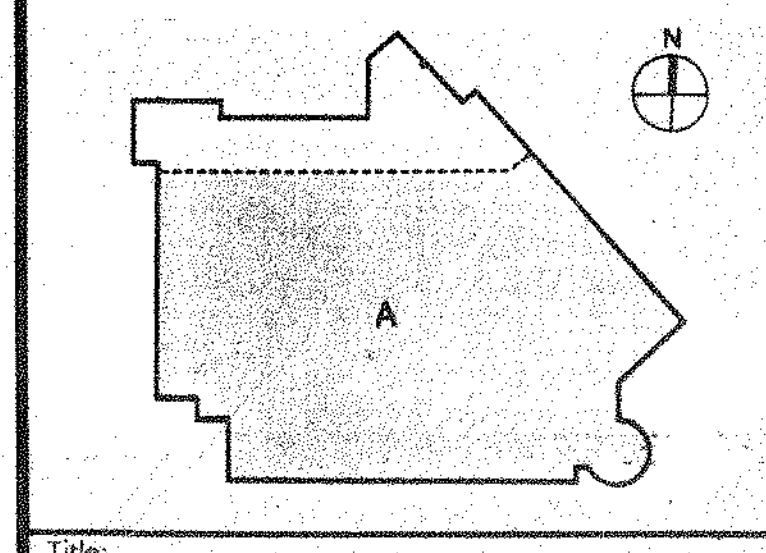
**Howard Needles Tammen & Bergendoff**  
Architects  
Suite 4200 Prudential Center  
Boston, MA 02199  
(617) 267-6710



ALL FINISHED FLOOR SURFACES TO BE 1/2" THICK.  
EMERGENCY EXIT DOOR LEADS TO IDENTIFIED.  
SLIP RESISTANT MEMBRANE MATERIAL AND COATINGS IDENTIFIED.  
WALL AND CEILING SYSTEM TO BE FULLY ADHERED TO SUBSTRATE BY MEANS OF ADHESIVE INSULATION 2 1/2" MIN. THICK.



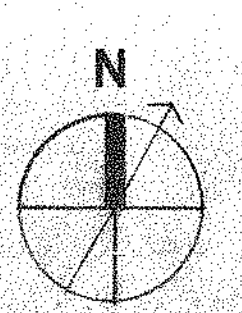
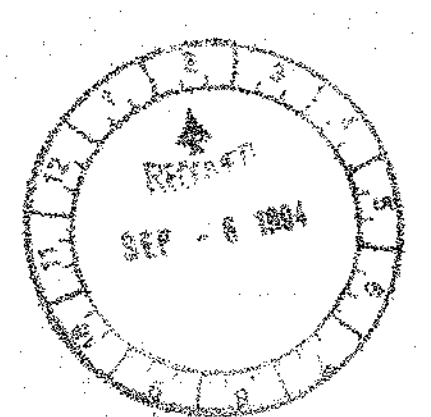
RECORD AS-BUILT	27 JAN 94	
BULLETIN # 12	31 AUG 92	
BULLETIN # 10	1 MAY 92	
BULLETIN # 8	24 FEB 92	
BULLETIN # 5	20 AUG 91	
BULLETIN # 4	2 JUL 91	
BULLETIN # 3	26 MAY 91	
BULLETIN # 2	8 MAY 91	
ADDENDUM # 1	8 DEC 90	
2 CONSTRUCTION	3 DEC 90	
1 BIDS	5 NOV 90	
No.	Issued For	Date
Scale	1/2" = 1'-0"	Date
Drawn By:	JCC	
Checked By:		
Approved By:		
Key Plan		



## MEZZANINE LEVEL PLAN SEGMENT A

Project No. 13445 Sheet of

# A2.8

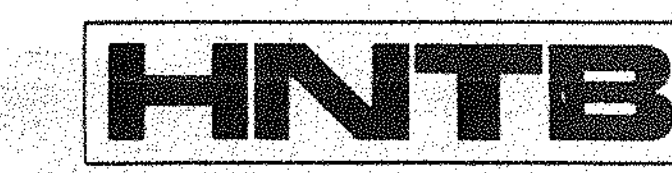




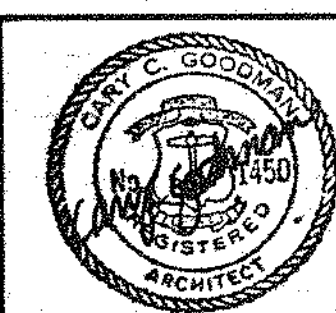
# Providence Rhode Island Convention Center

A Metro Partners Development  
for  
The Convention Center Authority

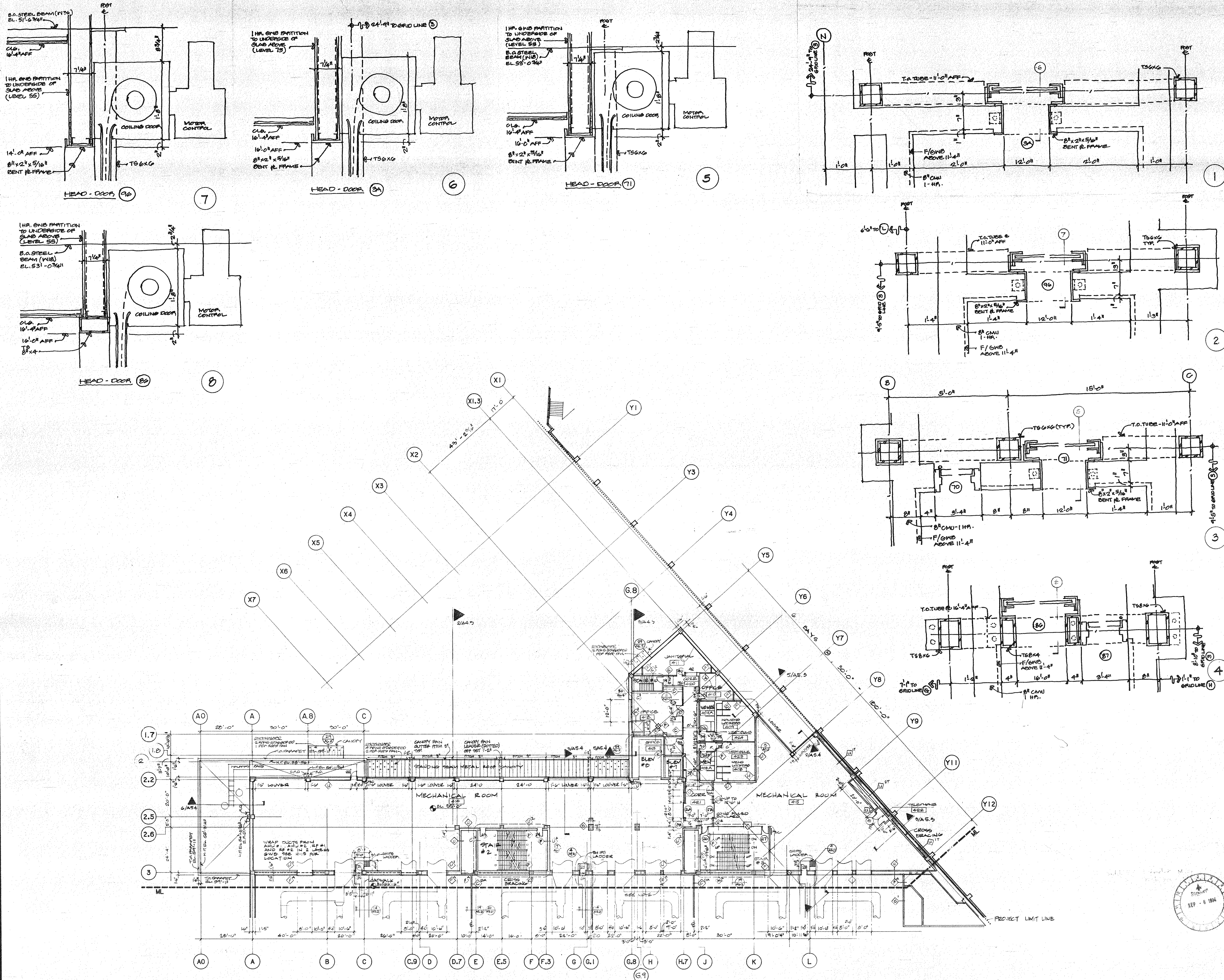
Construction Manager  
Gilbane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



Howard Needles Tammen & Bergendoff  
Architects  
Suite 4200 Prudential Center  
Boston, MA, 02199  
(617) 267-6710

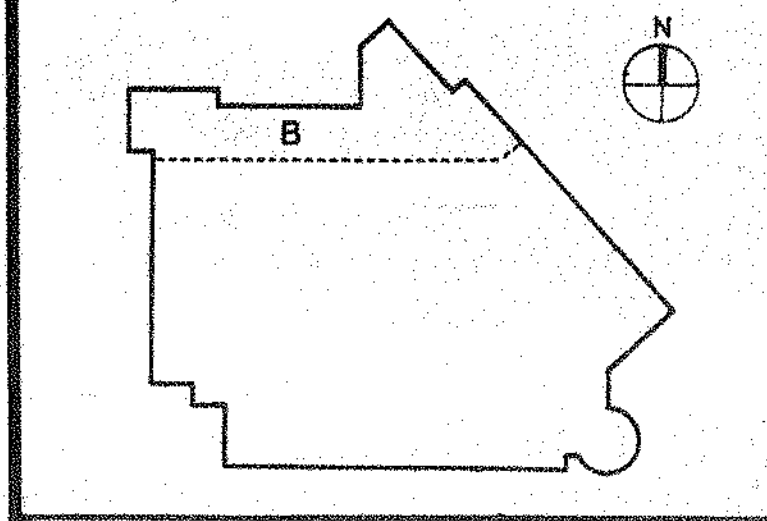


NOTE:  
7/4" MIN. CLEARANCE  
DO NOT BRACE HT. STUDS  
OFF CMU WALL  
EX. HALL/MECH RM. WALL



No.	Issued For	Date
1	BIDS	5 NOV 90
2	CONSTRUCTION	3 DEC 90
3	ADDDEN DUM # 2	20 DEC 90
4	BULLETIN # 4	23 JUL 91
5	BULLETIN # 5	20 AUG 91
7	BULLETIN # 7	3 OCT 91
8	BULLETIN # 8	21 MAR 92
12	BULLETIN # 12	31 APR 92
14	RECORD AS BUILT	22 APR 94

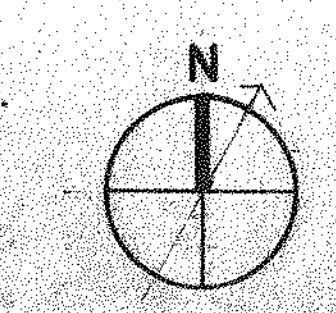
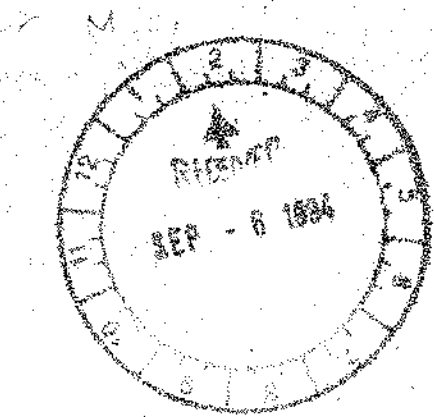
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Checked By:  
Approved By:  
Key Plan



Title:  
**MEZZANINE LEVEL  
PLAN  
SEGMENT B**

Project No. 13445 Sheet of

**A2.9**

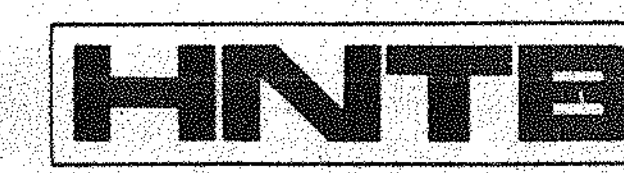




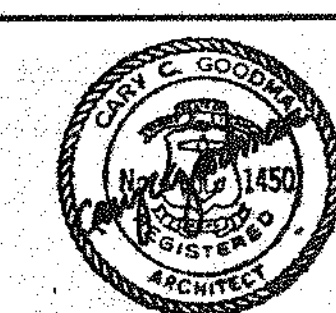
**Providence Rhode Island Convention Center**

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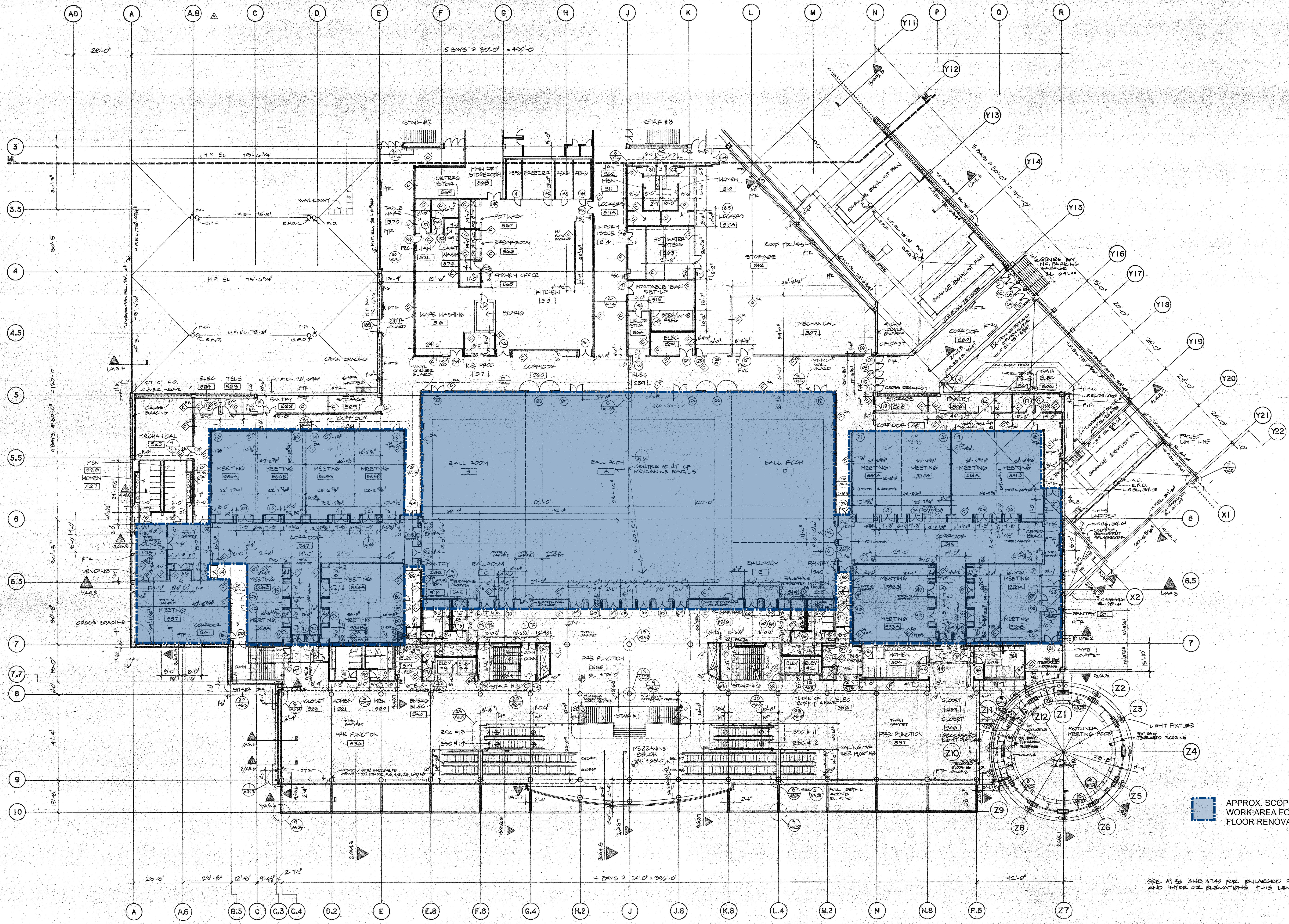
**Construction Manager**  
Gilbane Building Company  
7 Jackson Walkway  
Providence RI 02940  
(401) 456 5800



**Howard Needles Tammen & Bergendoff**  
Architects  
Suite 4200 Prudential Center  
Boston, MA, 02199  
(617) 267-6710



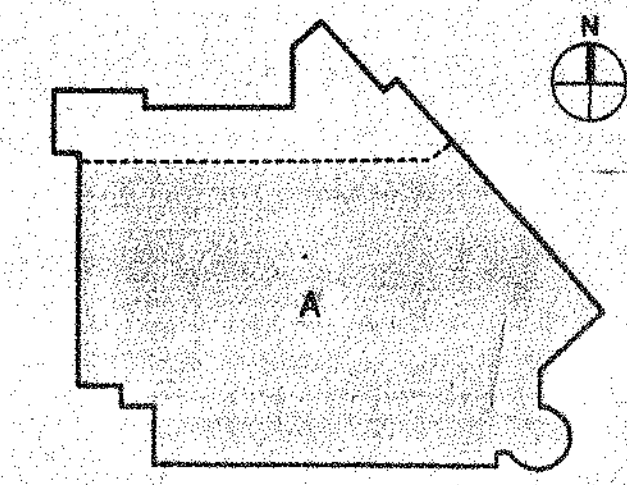
ALL FINISHED FLOOR ELEVATIONS TO BE 1" LOWER.  
EMERGENCY EXIT DOOR LOCATIONS IDENTIFIED.  
BUILD RESISTANT MEMBRANE REQUIRED FOR LOCATIONS IDENTIFIED.  
W.P.D. ROOF SYSTEM TO BE FULLY REPAIRED THROUGHOUT THE LEVEL.



APPROX. SCOPE OF WORK AREA FOR 5TH FLOOR RENOVATIONS

SEE A7.30 AND A7.40 FOR ENLARGED PLANS AND INTERIOR ELEVATIONS THIS LEVEL

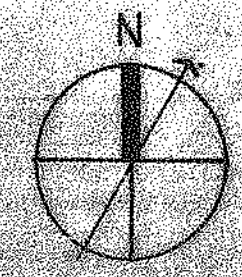
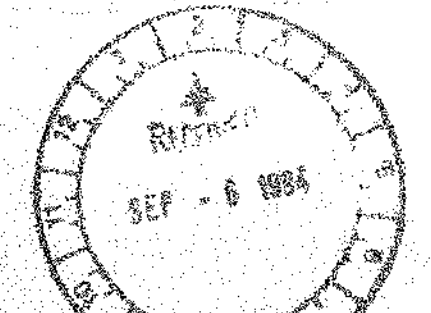
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ADD - 122	18 DEC 92	
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BULLETIN # 9	24 FEB 92	
BULLETIN # 8	2 MAR 91	
BULLETIN # 7	25 MAY 91	
BULLETIN # 6	22 FEB 91	
ADDENDUM # 1	6 DEC 90	
2 CONSTRUCTION	3 DEC 90	
1 BIDS	5 NOV 90	
No.	Issued For	Date
Scale	1/4" = 1'-0"	Date
Drawn By:	SAE	
Checked By:		
Approved By:		
Key Plan		



**BALLROOM LEVEL PLAN SEGMENT A**

Project No. 13445 Sheet of

**A2.10**





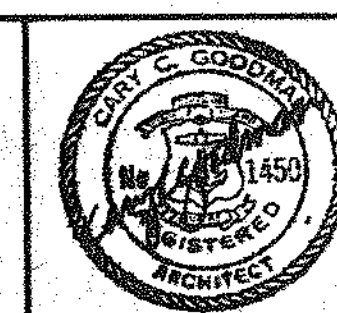
# Providence Rhode Island Convention Center

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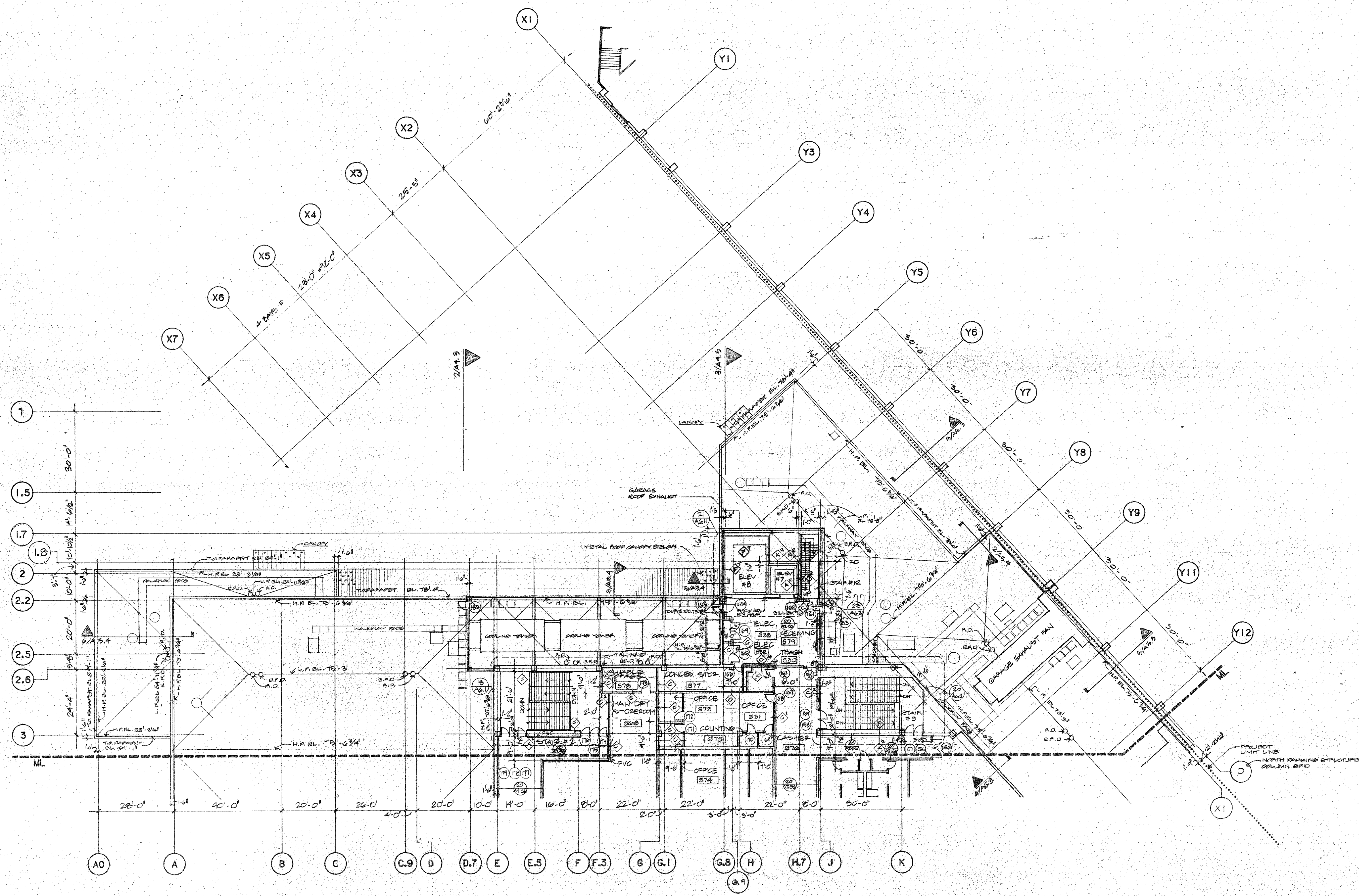
**Construction Manager**  
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Providence RI 02940  
(401) 456 5800



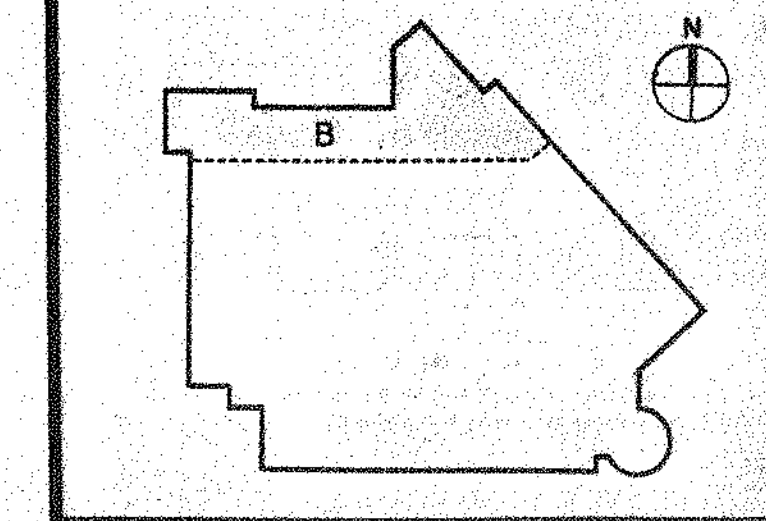
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Architects  
Suite 4200 Prudential Center  
Boston, MA, 02199  
(617) 267-6710



ALL FINISHED FLOOR ELEVATIONS TO BE  
AS SHOWN  
ELEVATIONS FOR CHAIR HEIGHTS  
CONTAINED  
BUILDING FRONT VENTILATION  
SYSTEMS AND EXHAUST SYSTEMS  
AND AIR SYSTEMS TO BE FULLY  
DESIGNED AND SUBMITTED FOR  
PERMIT REVIEW AT THE TIME OF  
BIDDING



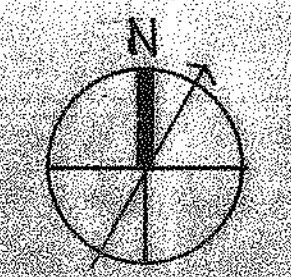
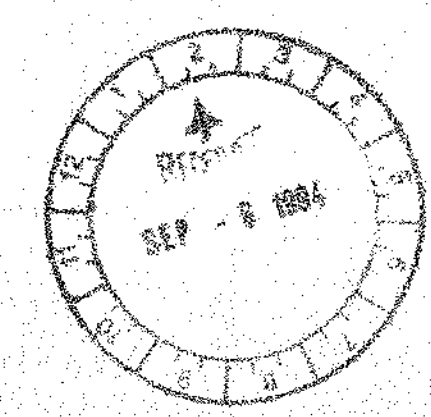
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2	CONSTRUCTION	3 DEC 90
3	BULLETIN # 2	3 MAY 91
4	BULLETIN # 4	2 JUL 91
5	BULLETIN # 5	23 AUG 91
7	BULLETIN # 7	3 OCT 91
8	BULLETIN # 8	24 FEB 92
12	BULLETIN # 12	21 MAR 92



Title:  
**BALLROOM LEVEL  
PLAN  
SEGMENT B**

Project No. 13445 Sheet of  
Drawing No.

**A2.11**

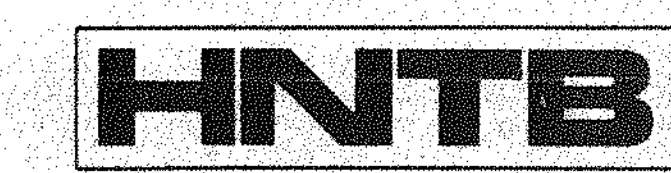




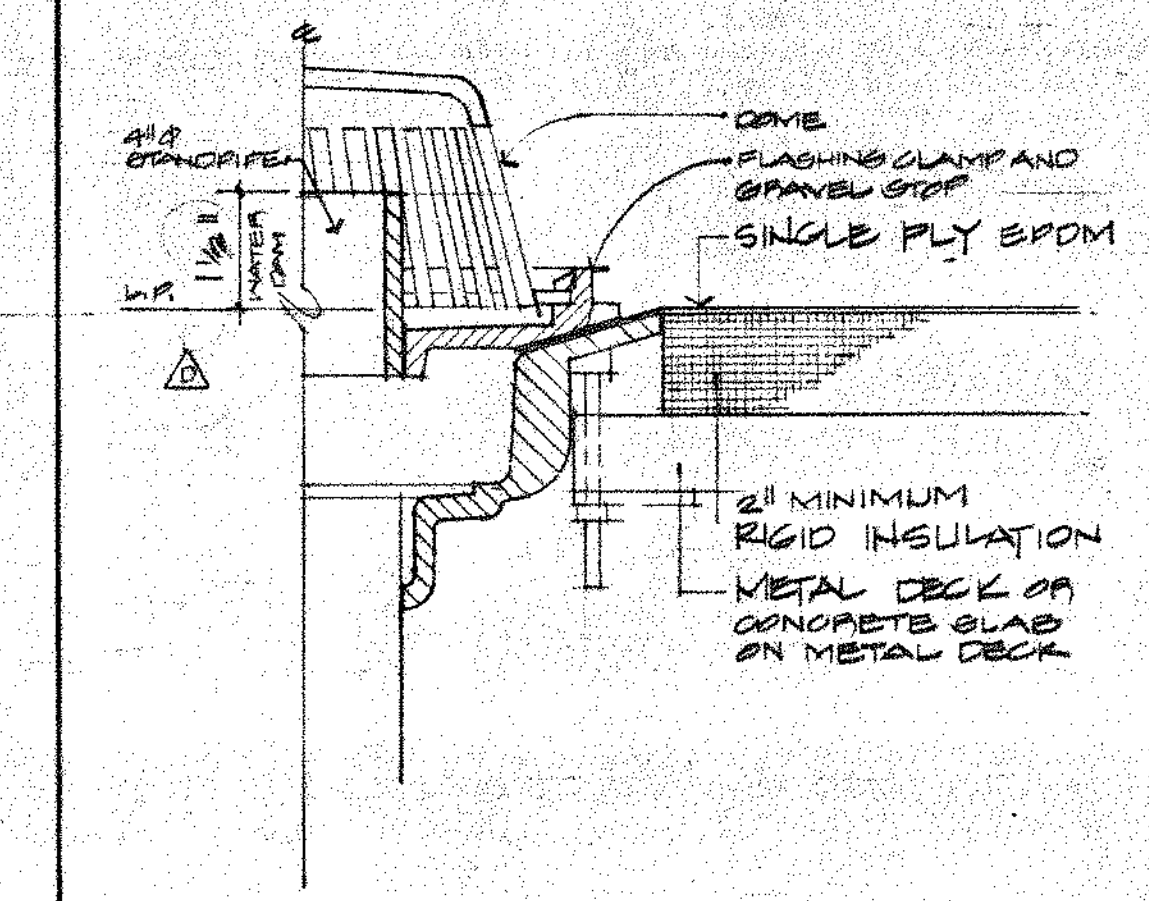
# Providence Rhode Island Convention Center

A Metro Partners Development for The Convention Center Authority

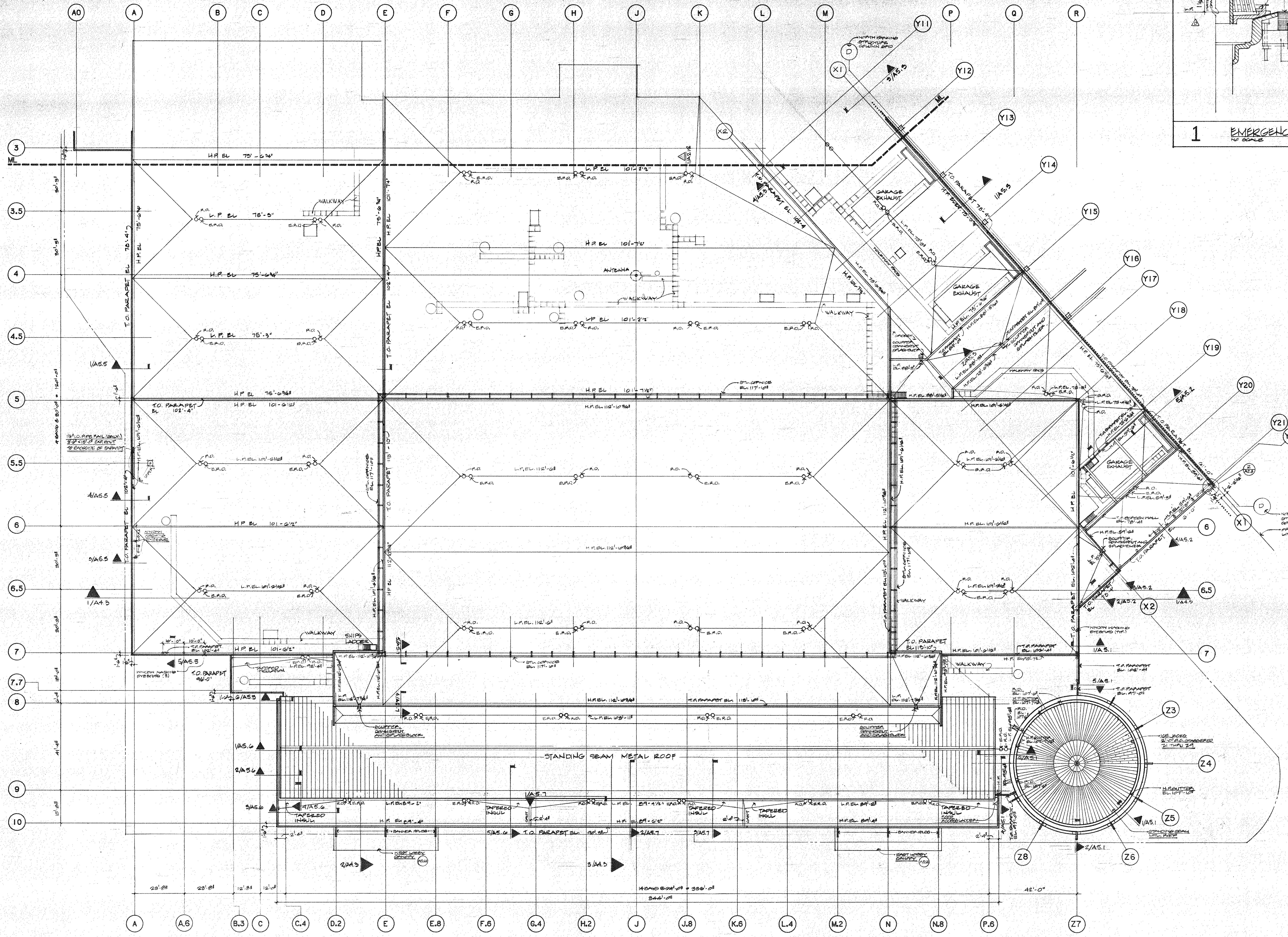
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 (401) 456 5800



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 Architects  
 Suite 4200 Prudential Center  
 Boston, MA 02199  
 (617) 267-6710



**1 EMERGENCY ROOF DRAIN**  
 NO SCALE



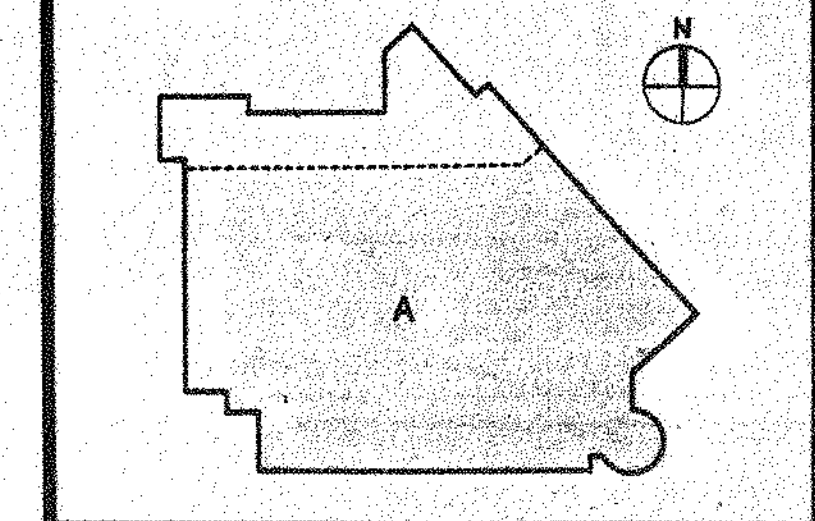
All finished roof elevations to be 1" lower

EMERGENCY ROOF DRAIN LOCATIONS TO BE PROVIDED

2" MINIMUM RIGID INSULATION METAL DECK OR CONCRETE SLAB ON METAL DECK

U.N.C. ROOF SYSTEM TO BE FULLY SUBMITTED SINGLE PLY SYSTEM TO BE FULLY SUBMITTED

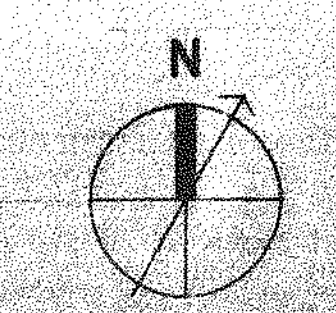
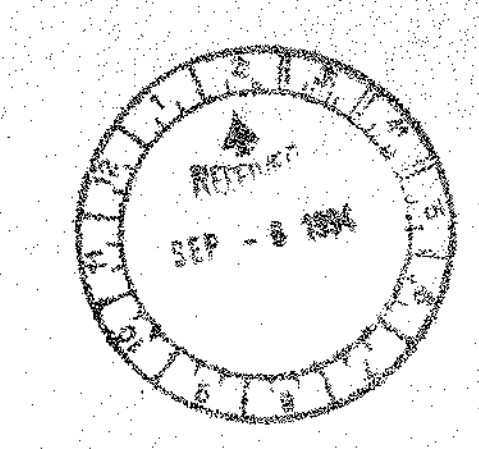
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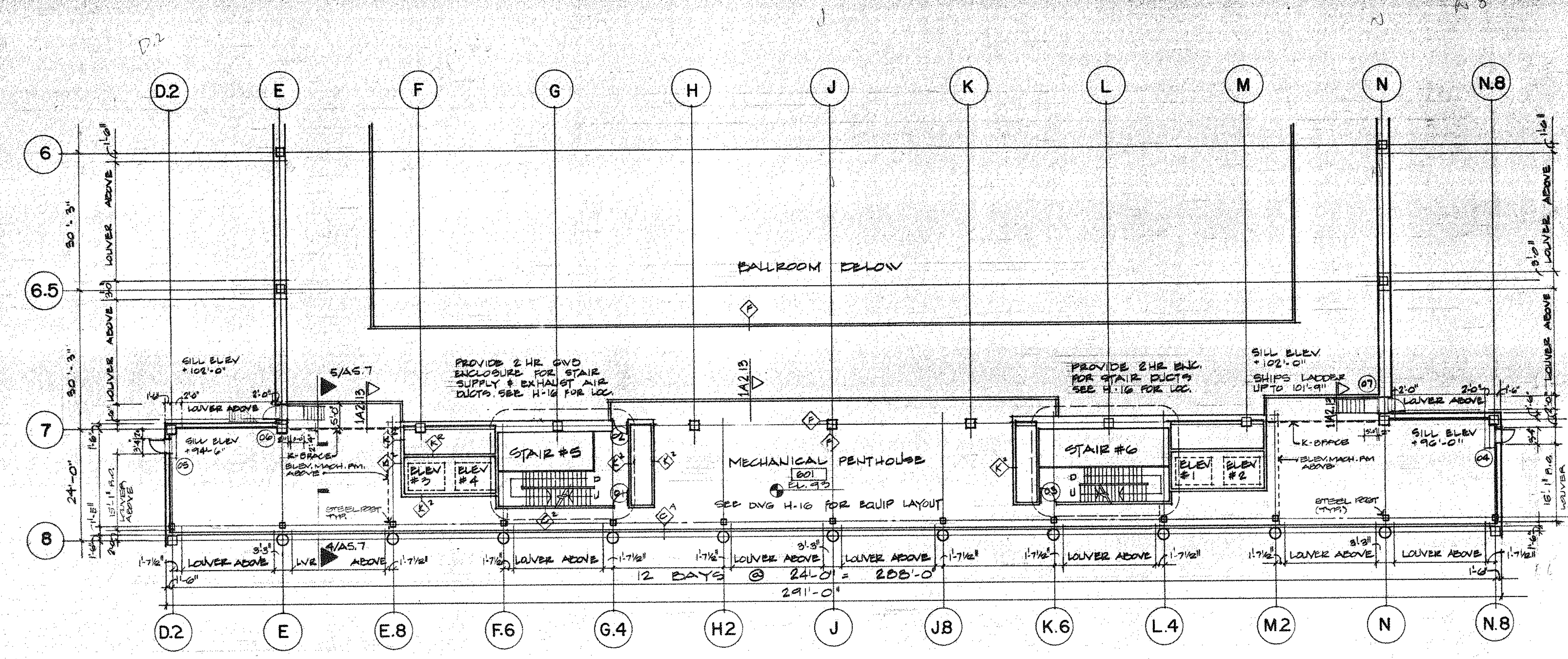
**ROOF PLAN SEGMENT A**

Project No. 13445 Sheet of

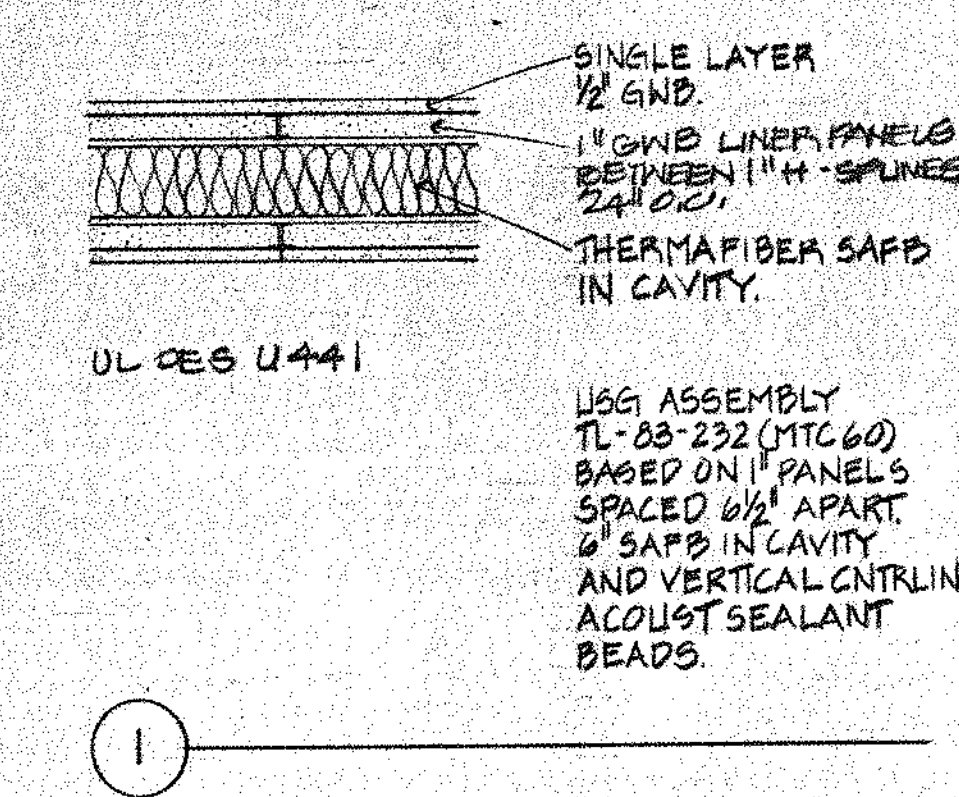
**A212**







2 MECHANICAL PENTHOUSE



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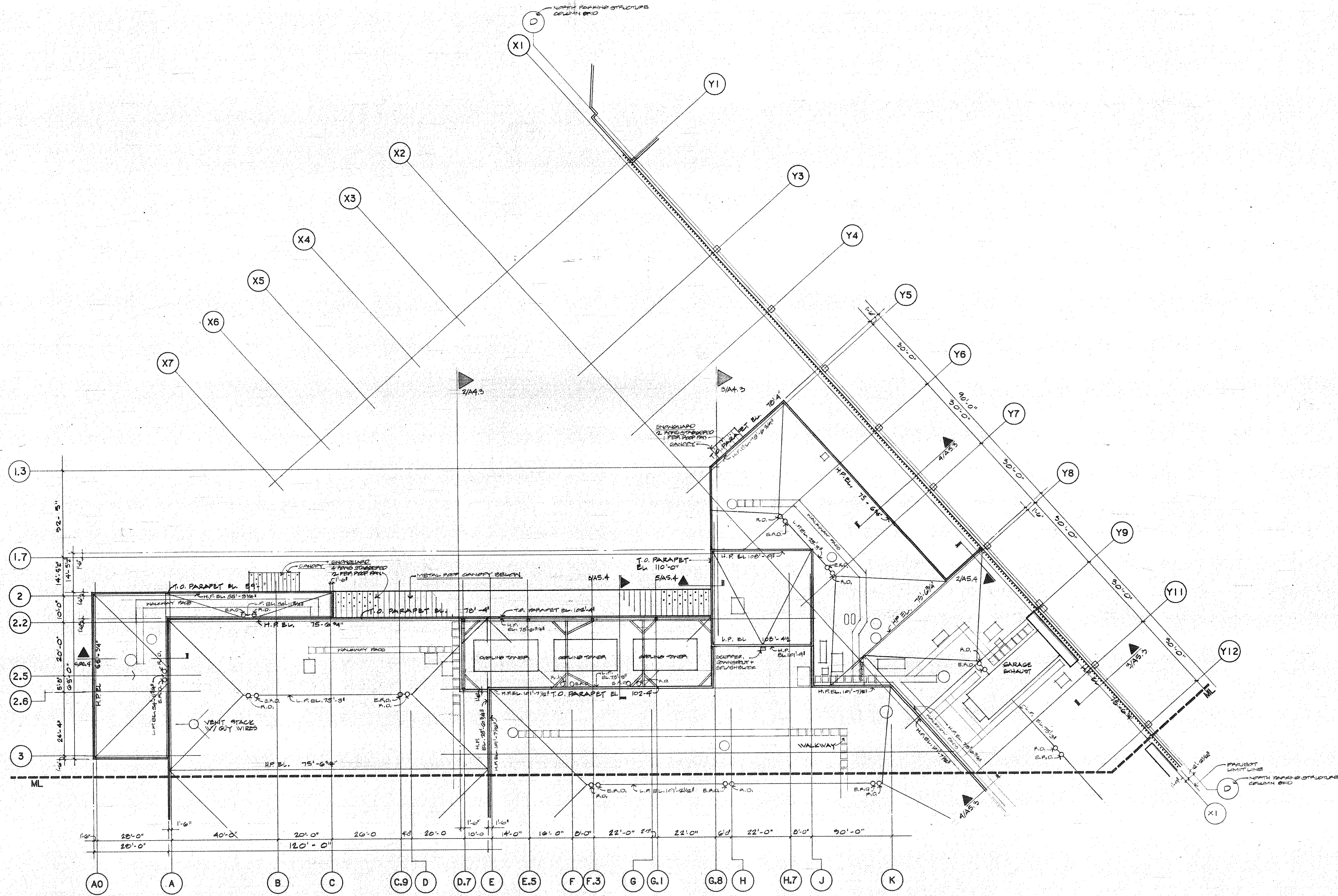


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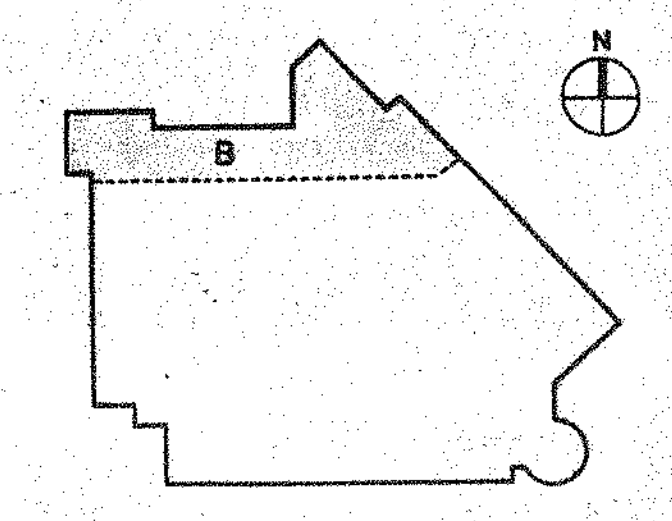
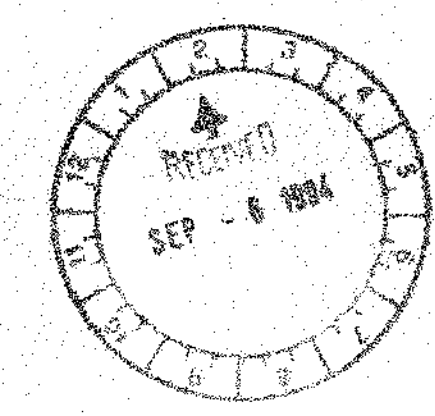
All finished roof elevations to be 1" lower

EMERGENCY ESCAPE ROUTES IDENTIFIED  
FIRE RESISTANT MEMBRANE AND FLASHING DETAILS IDENTIFIED  
ALL ROOF SYSTEMS TO BE FULLY DRAINAGE CAPABLE PER DETAIL REFERRED TO SECTION 5.100/5.101/5.102/5.103



PROJECT AS BUILT	07 APR 94	
BULLETIN #7	03 OCT 91	
BULLETIN #4	02 JUL 91	
BULLETIN #2	01 MAR 91	
ADDENDUM #1	03 DEC 90	
2 CONSTRUCTION	15 NOV 90	
1 BIDS		
No.	Issued For	Date

Scale 1/8" = 1'-0"  
Drawn By: JOC  
Checked By:  
Approved By:  
Key Plan



ROOF PLAN SEGMENT B MECHANICAL LEVEL

Project No. 13445 Sheet of  
Drawing No.

A2.15



# RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT PROJECT BID DOCUMENTS SUBMITTAL

1 SABIN ST, PROVIDENCE, RI 02903  
 MAY 31, 2023

## INDEX OF DRAWINGS

DRAWING NO.	DRAWING DESCRIPTION
FA-0.0	COVER PAGE & INDEX OF DRAWINGS
FA-0.1	PROJECT NOTES & SYMBOLS LEGEND
FA-0.2	SEQUENCE OF OPERATIONS MATRIX
FA-0.3	CONTROL EQUIPMENT CONCEPTUAL RISER DIAGRAM (1 OF 2)
FA-0.4	CONTROL EQUIPMENT CONCEPTUAL RISER DIAGRAM (2 OF 2)
FA-B.1D	BASEMENT LEVEL FIRE ALARM DEMOLITION PLAN
FA-1.1D	FIRST FLOOR NORTH FIRE ALARM DEMOLITION PLAN
FA-1.2D	FIRST FLOOR SOUTH FIRE ALARM DEMOLITION PLAN
FA-2.1D	SECOND FLOOR NORTH FIRE ALARM DEMOLITION PLAN
FA-2.2D	SECOND FLOOR SOUTH FIRE ALARM DEMOLITION PLAN
FA-3.1D	THIRD FLOOR NORTH FIRE ALARM DEMOLITION PLAN
FA-3.2D	THIRD FLOOR SOUTH FIRE ALARM DEMOLITION PLAN
FA-4.1D	FOURTH FLOOR NORTH FIRE ALARM DEMOLITION PLAN
FA-4.2D	FOURTH FLOOR SOUTH FIRE ALARM DEMOLITION PLAN
FA-5.1D	FIFTH FLOOR NORTH FIRE ALARM DEMOLITION PLAN
FA-5.2D	FIFTH FLOOR SOUTH FIRE ALARM DEMOLITION PLAN
FA-P.1D	PENTHOUSE LEVEL FIRE ALARM DEMOLITION PLAN
FA-B.1	BASEMENT LEVEL FIRE ALARM INSTALL PLAN
FA-1.1	FIRST FLOOR NORTH FIRE ALARM INSTALL PLAN
FA-1.2	FIRST FLOOR SOUTH FIRE ALARM INSTALL PLAN
FA-2.1	SECOND FLOOR NORTH FIRE ALARM INSTALL PLAN
FA-2.2	SECOND FLOOR SOUTH FIRE ALARM INSTALL PLAN
FA-3.1	THIRD FLOOR NORTH FIRE ALARM INSTALL PLAN
FA-3.2	THIRD FLOOR SOUTH FIRE ALARM INSTALL PLAN
FA-4.1	FOURTH FLOOR NORTH FIRE ALARM INSTALL PLAN
FA-4.2	FOURTH FLOOR SOUTH FIRE ALARM INSTALL PLAN
FA-5.1	FIFTH FLOOR NORTH FIRE ALARM INSTALL PLAN
FA-5.2	FIFTH FLOOR SOUTH FIRE ALARM INSTALL PLAN
FA-P.1	PENTHOUSE LEVEL FIRE ALARM INSTALL PLAN

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION: ALTERED BY FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

KEY PLAN

NO.	REVISION	DATE

PROJECT  
 RHODE ISLAND CONVENTION CENTER  
 FIRE ALARM SYSTEM REPLACEMENT

ADDRESS  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

PROJECT NO  
 1EMC00116.000

DATE  
 MAY 31, 2023

DESIGN  
 EBJ

DRAWN BY  
 EBJ

CHECKED BY  
 EMC | PSM

SCALE

TITLE  
 COVER PAGE  
 & INDEX OF DRAWINGS

NUMBER  
 FA-0.0

SHEET  
 1 OF 29



**GENERAL NOTES**

- THE FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE RHODE ISLAND FIRE CODE (NFPA 1-2018 EDITION, AS AMENDED), THE RHODE ISLAND LIFE SAFETY CODE (NFPA 101-2016, AS AMENDED), NFPA 72-2019 EDITION, AND NFPA 70-2017 EDITION.
- THE SCOPE OF WORK INCLUDES FURNISHING ALL SERVICES, EQUIPMENT, PERMITS, TESTING, ETC. ARE REQUIRED TO INSTALL AN APPROVED AUTOMATIC EMERGENCY VOICE FIRE ALARM SYSTEM IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS AND AS INDICATED ON THE DRAWINGS AND IN THE TECHNICAL SPECIFICATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE FIRE ALARM SYSTEM CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS.
- THE BUILDING IS PROTECTED THROUGHOUT WITH AUTOMATIC SPRINKLER PROTECTION. THE FIRE ALARM SYSTEM DESIGN IS BASED ON A FULLY SPRINKLERED BUILDING.
- THE SCOPE OF WORK INCLUDES INSTALLING A NEW, AUTOMATIC EMERGENCY VOICE FIRE ALARM SYSTEM THROUGHOUT THE BUILDING.
- THE SCOPE OF WORK INCLUDES INSTALLING A NEW ADDRESSABLE FIRE ALARM CONTROL UNIT. THE EXISTING SIMPLEX 4100U FIRE ALARM CONTROL UNIT SHALL BE REMOVED AFTER THE ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM.
- THE EXISTING DIGITIZED 6-ZONE MASTER BOX (#4726-4729 AND #4731-4732) SHALL BE MAINTAINED AND WILL CONTINUE TO TRANSMIT ALARM SIGNALS DIRECTLY TO THE PROVIDENCE FIRE DEPARTMENT. REFER TO THE SEQUENCE OF OPERATIONS MATRIX FOR DETAILED ZONE INFORMATION.
- THE EXISTING BUILDING FIRE ALARM SYSTEM SHALL REMAIN FUNCTIONAL DURING THE PERIOD OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CUTOVER ITEMS FROM THE EXISTING SYSTEM TO THE NEW SYSTEM WITH THE OWNER, JENSEN HUGHES AND PROVIDENCE FIRE DEPARTMENT.
- THE SCOPE OF WORK INCLUDES MONITORING EACH EXISTING SPRINKLER SYSTEM VALVE SUPERVISORY SWITCH, WATERFLOW SWITCH, AND PRESSURE SWITCH WITH A NEW ADDRESSABLE MONITOR MODULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING SPRINKLER SYSTEM VALVE SUPERVISORY, WATERFLOW AND PRESSURE SWITCHES IN THE FIELD, WHICH MAY BE IN EXCESS OF THE QUANTITY SHOWN ON THESE DRAWINGS.
- THE SCOPE OF WORK INCLUDES COORDINATING THE FIRE ALARM SYSTEM INSTALLATION WITH THE OWNER AND JENSEN HUGHES.
- THE SCOPE OF WORK INCLUDES INTERFACING TO ALL EXISTING DOOR HOLD-OPEN DEVICES AND CIRCUITS THROUGHOUT THE BUILDING AND ALL WORK NECESSARY TO MAINTAIN THE EXISTING SEQUENCE OF OPERATIONS AS IT RELATES TO DOOR HOLD-OPEN DEVICES.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING ELEVATORS FOR PRIMARY RECALL, ALTERNATE RECALL, AND FLASHING HAT FUNCTIONS.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING EMERGENCY GENERATOR FOR 'GENERATOR RUNNING' CONDITION.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING ESCALATOR CONTROLS FOR SHUTDOWN UPON GENERAL ALARM.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING AUDIO CONTROL EQUIPMENT FOR MEETING ROOMS, BALLROOMS AND EXHIBITION HALLS (AS APPLICABLE) TO SUSPEND SOUND SYSTEMS UPON GENERAL ALARM.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH EXISTING LIGHTING CONTROL EQUIPMENT FOR MEETING ROOMS, BALLROOMS AND EXHIBITION HALLS (AS APPLICABLE) TO BRING HOUSE LIGHTING TO FULL BRIGHT UPON GENERAL ALARM.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING FIRE PUMP CONTROLLER TO SUPERVISE FOR PUMP RUNNING, CONTROLLER TROUBLE, AND WHEN THE CONTROLLER MAIN SWITCH HAS BEEN TURNED TO THE OFF OR MANUAL POSITION.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING OVERHEAD DOORS BETWEEN THE EXHIBITION HALLS AND THE LOADING DOCK/MAINTENANCE AREA, AS WELL AS BETWEEN THE EXHIBITION HALLS AND THE PRE-FUNCTION AREA.
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING LANDIS AND GYR BUILDING MANAGEMENT SYSTEM. THE FIRE ALARM SYSTEM SHALL ACTIVATE FIVE (5) INDIVIDUAL DIGITAL INPUTS IN THE DPL4 CABINET (#00811300) LOCATED IN THE FIRE COMMAND CENTER VIA ADDRESSABLE RELAYS. THE FIRE ALARM RELAYS SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE SLC. THE FIVE (5) SIGNALS ARE:
  - INPUT #16 - EXHIBITION HALL SMOKE CONTROL MODE
  - INPUT #17 - ATRIUM SMOKE CONTROL MODE
  - INPUT #18 - BALLROOM/KITCHEN SMOKE CONTROL MODE
  - INPUT #19 - LOADING DOCK SMOKE CONTROL MODE
  - INPUT #21 - GENERAL ALARM SMOKE CONTROL MODE
- THE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING FIREFIGHTER TELEPHONES THROUGHOUT THE BUILDING. IT IS ESTIMATED THAT THERE ARE APPROXIMATELY 100 FIREFIGHTER TELEPHONES IN THE BUILDING. EXISTING FIREFIGHTER TELEPHONE WIRING SHALL BE PERMITTED TO BE REUSED, PROVIDED IT IS IN GOOD WORKING CONDITION.
- PROVIDE A REMOTE LCD ANNUNCIATOR PANEL AT THE BUILDING LOADING DOCK SECURITY OFFICE. PFD RESPONSE LOCATION IS THE BUILDING FIRE COMMAND STATION WHERE THE MAIN PANEL IS LOCATED. REMOTE LCD ANNUNCIATOR REQUIRES 24VDC NON-RESETTABLE POWER AND A COMMUNICATION CONNECTION TO THE MAIN FACU OR NODE PANEL.
- COORDINATION WITH OTHER CONTRACTORS AND/OR BUILDING MAINTENANCE PERSONNEL SHALL BE REQUIRED, AS NECESSARY, TO INTERFACE WITH OTHER BUILDING SYSTEMS INCLUDING, BUT NOT LIMITED TO, THE BUILDING MANAGEMENT SYSTEM (BMS), HVAC UNITS/SYSTEM, THE FIRE SPRINKLER SYSTEM, THE FIRE PUMP, THE EMERGENCY GENERATOR, ELEVATORS, ESCALATORS, AUDIO/VISUAL EQUIPMENT, DOOR HOLD-OPEN DEVICES, ELECTRONIC LOCKING MECHANISMS, OVERHEAD DOORS, ETC.
- ALL FIRE ALARM SYSTEM WIRING SHALL BE CONTINUOUS FROM DEVICE TO DEVICE AND INSTALLED CLASS A. JUNCTION POINTS SHALL NOT BE PERMITTED, UNLESS DEEMED NECESSARY DUE TO CONSTRUCTION HARSHIP. ANY REQUIRED JUNCTION POINTS SHALL BE MADE ON SCREW-TYPE TERMINAL BLOCKS WITHIN A LOCKED, HINGED, RED TERMINAL CABINET.
- WHERE IT IS FEASIBLE, ALL FIRE ALARM SYSTEM DEVICES AND APPLIANCES SHALL BE INSTALLED AS CEILING-MOUNTED AND IN THE CENTER OF TILE. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF CEILING TILES DAMAGED DURING INSTALLATION OF THE NEW FIRE ALARM EQUIPMENT. CONTRACTOR SHALL COORDINATE WITH BUILDING MAINTENANCE STAFF TO FURNISH THE CORRECT MAKE AND MODEL OF ACT TO MATCH EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE A NEW AS-BUILT DOCUMENT CABINET ADJACENT TO THE FIRE ALARM CONTROL UNIT. CONTRACTOR TO PROVIDE COMPLETE FIRE ALARM SYSTEM AS-BUILT DRAWINGS, A COMPLETE POINTS LIST, AND A USB DRIVE WITH FIRE ALARM SYSTEM PROGRAM IN THE CABINET.
- ALL CONTROL EQUIPMENT, INITIATING DEVICES AND NOTIFICATION APPLIANCES SHALL BE UL LISTED.
- ALL NEW SIGNALING LINE CIRCUITS (SLC) SHALL BE INSTALLED CLASS A AND ALL NEW NOTIFICATION APPLIANCE CIRCUITS (NAC) SHALL BE INSTALLED CLASS A. EACH SLC AND NAC SHALL NOT BE LOADED TO MORE THAN 85% OF ITS RATED CAPACITY.
- ALL WALL-MOUNTED VISIBLE NOTIFICATION APPLIANCES AND COMBINATION AUDIBLE/VISIBLE NOTIFICATION APPLIANCES SHALL BE MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80 INCHES AND NOT GREATER THAN 96 INCHES ABOVE THE FINISHED FLOOR. ALL WALL-MOUNTED AUDIBLE NOTIFICATION APPLIANCES SHALL HAVE THEIR TOPS ABOVE THE FINISHED FLOORS AT HEIGHTS OF NOT LESS THAN 80 INCHES AND BELOW THE FINISHED CEILING AT DISTANCES NOT LESS THAN 6 INCHES.
- ALL FIRE ALARM NETWORK COMMUNICATION CIRCUITRY (AND AUDIO DATA NETWORK CIRCUITRY IF APPLICABLE BASED ON EQUIPMENT MANUFACTURER) SHALL BE INSTALLED IN A DEDICATED RACEWAY (EMT MINIMUM), IF APPLICABLE, AUDIO NETWORK AND FIRE ALARM NETWORK CIRCUITRY SHALL BE PERMITTED TO BE INSTALLED IN THE SAME RACEWAY, PROVIDED IT IS ACCEPTABLE BY THE MANUFACTURER.
- ALL FIRE ALARM SYSTEM WIRING (OTHER THAN NETWORK CIRCUITRY AND 120VAC CIRCUITRY) SHALL BE PERMITTED TO BE INSTALLED IN EMT RACEWAY OR MC CABLE. MC CABLE SHALL NOT BE PERMITTED TO BE INSTALLED EXPOSED, UNLESS APPROVED FOR USE BY THE OWNER.
- THE FIRE ALARM CONTROL UNIT SHALL BE PROVIDED WITH BYPASS BUTTONS/SWITCHES FOR SPRINKLER SYSTEM DEVICES, NOTIFICATION APPLIANCES, MASTER BOX SIGNAL TRANSMISSION, MAGNETIC DOOR-HOLDER RELEASE, OVERHEAD DOORS, HVAC SHUTDOWN, BMS INTERFACES, ELEVATOR RECALL, ESCALATOR SHUTDOWN, AUDIO EQUIPMENT INTERFACES, AND LIGHTING CONTROL INTERFACES, AT A MINIMUM.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE THE FINAL QUANTITY OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS TO SUPPORT ALL NOTIFICATION APPLIANCES SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE THE REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. THE QUANTITY OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS SHOWN ON THESE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTORS FOR ESTIMATING PURPOSES. THE AMPLIFIER QUANTITIES PROVIDED ON THE DRAWINGS ARE BASED ON THE AMPLIFIER SIZES NOTED ON THE RISER DIAGRAM. THE REMOTE POWER SUPPLY QUANTITIES PROVIDED ON THE DRAWINGS ARE BASED ON 4 AMP POWER SUPPLIES. THE LOCATION OF EACH REMOTE POWER SUPPLY AND AUDIO AMPLIFIER SHALL BE APPROVED BY THE OWNER AND JENSEN HUGHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, PROGRAMMING AND TESTING A SMOKE DETECTOR IN THE VICINITY OF ALL FIRE ALARM CONTROL EQUIPMENT INCLUDING REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. ALL REMOTE POWER SUPPLIES ARE REQUIRED TO BE TRIPPED VIA A CONTROL MODULE ON THE SIGNALING LINE CIRCUIT (SLC) THAT IS COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC.
- THE FIRE ALARM SYSTEM SHALL AUTOMATICALLY SOUND THE RECORDED VOICE EVACUATION SIGNAL AND ACTIVATE THE VISIBLE NOTIFICATION APPLIANCES. THE PRE-RECORDED VOICE MESSAGE SHALL USE A FEMALE VOICE. THE PRE-RECORDED VOICE MESSAGE AND ASSOCIATED SEQUENCE OF THE ALERT TONE SHALL BE APPROVED BY THE PROVIDENCE FIRE DEPARTMENT.
- ALL AUDIO CIRCUITS SHALL BE SYNCHRONIZED THROUGHOUT THE BUILDING SUCH THAT THERE ARE NO DELAYS IN VOICE MESSAGE TRANSMISSION THROUGHOUT THE BUILDING.
- WHERE TWO OR MORE STROBE NOTIFICATION APPLIANCES ARE VISIBLE IN THE FIELD OF VIEW, THEY SHALL FLASH IN SYNCHRONIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EQUIPMENT, PROGRAMMING AND WIRING NECESSARY TO SYNCHRONIZE POWER SUPPLIES, IF NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY NECESSARY PAM AND RIB RELAYS WHERE INTERFACING THE FIRE ALARM SYSTEM WITH BUILDING SYSTEMS OR EQUIPMENT OPERATING AT A DIFFERENT VOLTAGE THAN THE FIRE ALARM SYSTEM. THIS INCLUDES ANY REQUIRED EXTERNAL POWER FOR THE PAM AND RIB RELAYS TO OPERATE.
- MEANS SHALL BE PROVIDED AT THE MAIN FACU TO SELECTIVELY MANUALLY OPERATE THE AUDIBLE NOTIFICATION APPLIANCES. THE MAIN FACU SHALL BE EQUIPPED WITH A MICROPHONE AND SUITABLE SWITCHES TO SELECTIVELY TRANSMIT VOICE COMMUNICATIONS TO THE BUILDING. SPEAKER CIRCUITS SHALL BE SYNCHRONIZED THROUGHOUT THE BUILDING. AT A MINIMUM, SWITCHES SHALL BE PROVIDED TO ACTIVATE THE SPEAKERS IN EACH STARWELL, AND ON EACH FLOOR, SEPARATELY.

**FIRE ALARM SUBMITTAL NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING FOR APPROVAL BY JENSEN HUGHES A FIRE ALARM SYSTEM PRE-INSTALLATION SUBMITTAL PACKAGE COMPLETE WITH THE FOLLOWING ITEMS:
  - PRODUCT DATA SHEETS FOR ALL FIRE ALARM SYSTEM EQUIPMENT TO BE INSTALLED.
  - EQUIPMENT LIST IDENTIFYING THE TYPE, QUANTITY, MAKE AND MODEL NUMBER OF EACH PIECE OF EQUIPMENT TO BE USED.
  - SHOP DRAWING PLANS SHOWING THE PROPOSED FIRE ALARM SYSTEM EQUIPMENT, DEVICE AND APPLIANCE LOCATIONS.
  - POINT-TO-POINT FIRE ALARM CONTROL EQUIPMENT INSTALLATION DIAGRAMS INCLUSIVE OF INFORMATION REQUIRED BY NFPA 72 REQUIREMENTS.
  - BATTERY CALCULATIONS FOR ALL NEW FIRE ALARM SYSTEM CONTROL EQUIPMENT.
  - VOLTAGE DROP CALCULATIONS FOR ALL NOTIFICATION APPLIANCE CIRCUITS.
  - SEQUENCE OF OPERATIONS MATRIX THAT DESCRIBES HOW THE SYSTEM WILL RESPOND DURING ALL TYPES OF ALARM, TROUBLE AND SUPERVISORY CONDITIONS.
  - STATEMENT OF EQUIPMENT LIFE/CYCLE SIGNED BY A REPRESENTATIVE OF THE EQUIPMENT MANUFACTURER STATING THAT THE EQUIPMENT TO BE SUPPLIED IS NOT AT OR NEAR THE END OF ITS LIFE/CYCLE AND THAT REPLACEMENT PARTS WILL BE AVAILABLE FROM THE MANUFACTURER FOR THE FORESEEABLE FUTURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING DETAILED AS-BUILT DRAWINGS AT THE CONCLUSION OF THE FIRE ALARM SYSTEM MODIFICATIONS AND AS PART OF THE CLOSEOUT SUBMITTAL PACKAGE WHICH ARE INCLUSIVE OF POINT-TO-POINT WIRING FOR ALL FIRE ALARM SYSTEM CIRCUITRY.

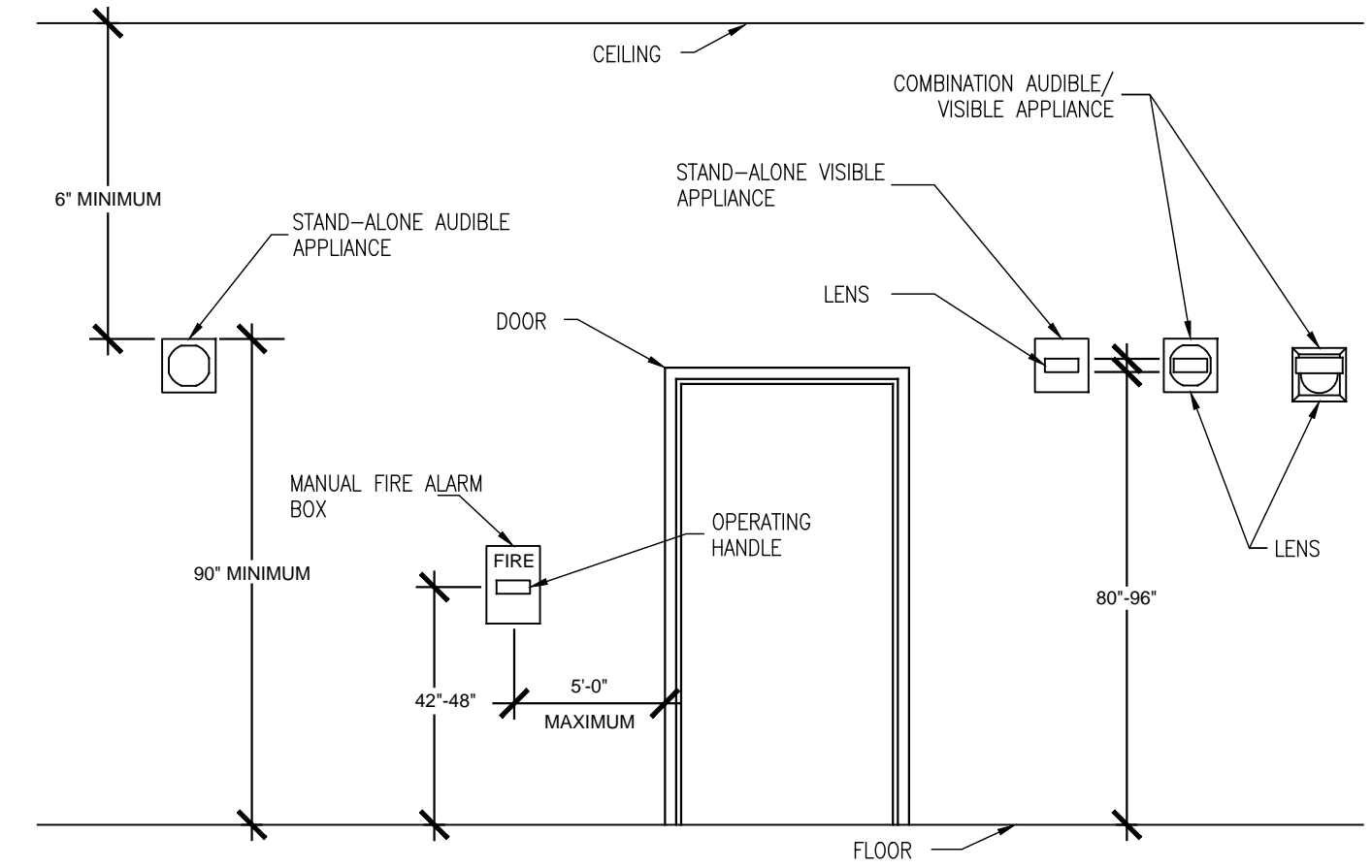
**DEMOLITION NOTES**

- THE SCOPE OF WORK INCLUDES REMOVING ALL EXISTING INITIATING DEVICES THROUGHOUT THE BUILDING. EXISTING DEVICES SHALL BE PERMITTED TO BE REMOVED ONLY UPON ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM BY THE AHJ.
- THE SCOPE OF WORK INCLUDES REMOVING ALL EXISTING NOTIFICATION APPLIANCES THROUGHOUT THE BUILDING. EXISTING APPLIANCES SHALL BE PERMITTED TO BE REMOVED ONLY UPON ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM BY THE AHJ.
- THE SCOPE OF WORK INCLUDES REMOVING ALL EXISTING FIRE ALARM SYSTEM EQUIPMENT, RACEWAY (TO THE GREATEST EXTENT POSSIBLE) AND WIRING, UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN ON THE DRAWINGS. THERE MAY BE ADDITIONAL DEVICES LOCATED IN THE FIELD THAN WHAT IS SHOWN ON THE DEMOLITION DRAWINGS. THE DEMOLITION DRAWINGS ARE INTENDED TO ASSIST THE CONTRACTOR, BUT DO NOT SHOW THE FULL EXTENT OF THE DEMOLITION WORK REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL CONSTRUCTION WHERE EXISTING FIRE ALARM EQUIPMENT AND CONDUIT/BOXES HAVE BEEN REMOVED. VOIDS CREATED IN WALLS, FLOORS AND CEILINGS IN FINISHED AREAS SHALL BE PATCHED AND PAINTED TO MATCH THE EXISTING SURROUNDING CONDITIONS. VOIDS CREATED IN WALLS, FLOORS AND CEILINGS IN BACK-OF-HOUSE AND UNFINISHED AREAS SHALL BE PROVIDED WITH A COVER PLATE PAINTED TO MATCH EXISTING CONDITIONS. ALL SURFACES LOCATED BENEATH EQUIPMENT, BACKBOXES AND CONDUIT TO BE REMOVED SHALL BE PAINTED TO MATCH EXISTING SURROUNDING CONDITIONS, IF THEY DO NOT ALREADY MATCH.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF CEILING TILES WHERE EXISTING DEVICES HAVE BEEN REMOVED. COORDINATE CEILING TILE REPLACEMENT WITH THE OWNER.

**BID NOTES**

- THE CONTRACTOR SHALL CARRY A MINIMUM OF 16-HOURS OF LABOR TO MAKE CHANGES TO THE RECOMMENDED SPEAKER WATTAGE TAP ADJUSTMENTS IN THE FIELD.
- THE BASE SCOPE OF WORK INCLUDES INTERFACING THE NEW FIRE ALARM SYSTEM WITH THE EXISTING FIREFIGHTER TELEPHONES LOCATED THROUGHOUT THE BUILDING. THE EXISTING FIELD WIRING FOR THE FIREFIGHTER TELEPHONES SHALL BE PERMITTED TO BE MAINTAINED, PROVIDED IT IS IN GOOD WORKING ORDER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL CONSTRUCTION WHERE EXISTING FIRE ALARM EQUIPMENT AND CONDUIT/BOXES HAVE BEEN REMOVED. VOIDS CREATED IN WALLS, FLOORS AND CEILINGS IN FINISHED AREAS SHALL BE PATCHED AND PAINTED TO MATCH THE EXISTING SURROUNDING CONDITIONS. VOIDS CREATED IN WALLS, FLOORS AND CEILINGS IN BACK-OF-HOUSE AND UNFINISHED AREAS SHALL BE PROVIDED WITH A COVER PLATE PAINTED TO MATCH EXISTING CONDITIONS. ALL SURFACES LOCATED BENEATH EQUIPMENT, BACKBOXES AND CONDUIT TO BE REMOVED SHALL BE PAINTED TO MATCH EXISTING SURROUNDING CONDITIONS, IF THEY DO NOT ALREADY.
- THE CONTRACTOR IS RESPONSIBLE FOR PAINTING ALL EXPOSED FIRE ALARM RACEWAY, BACKBOXES, PULL BOXES, COVERS, AND COUPLINGS IN FINISHED AREAS TO MATCH SURROUNDING CONDITIONS. PAINTING OF RACEWAY IN BACK-OF-HOUSE AREAS IS NOT REQUIRED, HOWEVER ALL PULL BOX AND RACEWAY COVERS AND COUPLINGS SHALL BE PAINTED RED.
- THE QUANTITY OF SPRINKLER SYSTEM VALVE SUPERVISORY, PRESSURE AND WATERFLOW SWITCHES SHOWN ON THE DRAWINGS IS BASED ON OBSERVATIONAL SURVEYS PERFORMED BY JENSEN HUGHES, AND INFORMATION PROVIDED BY THE OWNER. THERE MAY BE ADDITIONAL SPRINKLER SYSTEM DEVICES LOCATED IN THE FIELD IN EXCESS OF THOSE SHOWN ON THE DRAWINGS WHICH ARE REQUIRED TO BE MONITORED BY THE NEW FIRE ALARM SYSTEM. THE CONTRACTOR SHALL CARRY AN ADDITIONAL TWENTY (20) ADDRESSABLE MONITOR MODULES FOR ANY ADDITIONAL SPRINKLER SYSTEM DEVICES DISCOVERED IN THE FIELD DURING THE INSTALLATION.
- ADD ALTERNATE #1: PROVIDE SEPARATE BREAKOUT PRICING ASSOCIATED WITH THE REMOVAL OF THE EXISTING FIREFIGHTER TELEPHONES AND ASSOCIATED CIRCUITRY THROUGHOUT THE BUILDING, AND INSTALLING A NEW TWO-WAY EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM (ERCS). BREAKOUT PRICING FOR THE ERCS SHALL INCLUDE ALL NECESSARY SURVEY, DESIGN, INSTALLATION, PROGRAMMING, TESTING, COMMISSIONING AND DOCUMENTATION SERVICES REQUIRED.
  - THE ERCS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 1221 (2019 EDITION), NFPA 72 (2019 EDITION), NFPA 70 (2017 EDITION), AND CITY OF PROVIDENCE REQUIREMENTS.
  - RISER COAX AND ASSOCIATED SPLITTERS, COUPLERS AND CONNECTORS SHALL MAINTAIN A MINIMUM 2-HOUR FIRE RESISTANCE RATING. FOR BIDDING PURPOSES, IT SHALL BE ASSUMED THAT ALL RISER COAX WILL BE REQUIRED TO BE 2-HOUR FIRE RESISTANCE RATED CABLE.
    - ALL BACKBOXES, ANTENNA DISTRIBUTION, RADIATION, OR ANY FIBER-OPTIC CABLES SHALL BE RATED AS PLENUM CABLES.
    - LIGHTING PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 786.
    - ALL BIDA SIGNAL BOOSTER PANELS SHALL BE INSTALLED WITHIN 2-HOUR FIRE RESISTANCE RATED ROOMS.
    - COAX CABLE TO THE DONOR ANTENNA SHALL MAINTAIN A MINIMUM 2-HOUR FIRE RESISTANCE RATING. FOR BIDDING PURPOSES, IT SHALL BE ASSUMED THAT ALL COAX BETWEEN THE DONOR ANTENNA AND SIGNAL BOOSTER WILL BE REQUIRED TO BE 2-HOUR FIRE RESISTANCE RATED CABLE.
    - SIX (6) ADDRESSABLE MONITOR MODULES SHALL BE INCLUDED FOR DIRECT SUPERVISION OF THE ERCS BY THE NEW FIRE ALARM SYSTEM.
- ADD ALTERNATE #2: PROVIDE SEPARATE BREAKOUT PRICING ASSOCIATED WITH PROVIDING A 2-HOUR FIRE RESISTANCE RATED BACKBOX FOR THE NEW FIRE ALARM SYSTEM TO INCLUDE THE NETWORK COMMUNICATIONS CIRCUITRY, AS WELL AS THE AUDIO DATA NETWORK CIRCUITRY (IF APPLICABLE BASED ON MANUFACTURER).
  - ALL FIRE ALARM CONTROL EQUIPMENT (AUDIO AMPLIFIERS, FIRE ALARM NODE PANELS) SHALL BE LOCATED WITHIN 2-HOUR FIRE RESISTANCE RATED ROOMS.
  - FOR THE PURPOSES OF BIDDING, IT SHALL BE ASSUMED THAT THE ENTIRETY OF THE NETWORK COMMUNICATION CIRCUITRY (AND AUDIO NETWORK CIRCUITRY IF APPLICABLE) WILL BE REQUIRED TO UTILIZE A 2-HOUR FIRE RESISTANCE RATED CABLE SYSTEM.
  - 2-HOUR CABLE SYSTEM TO BE CABLE-IN-CONDUIT (CIC).
  - INSTALLATION SHALL FOLLOW GUIDELINES OUTLINED BY ELECTRICAL CIRCUIT INTEGRITY SYSTEM FHT.40A OR FHT.28C WITH RESPECT TO SPECIFIC REQUIREMENTS FOR RACEWAY, FITTINGS, CABLE, CLAMPS & SUPPORTS, PULL BOXES, AND CONDUIT SIZE & FILL.
- ADD ALTERNATE #3: PROVIDE SEPARATE BREAKOUT PRICING ASSOCIATED WITH PROVIDING DIRECT CONTROL AND SUPERVISION OF THE SMOKE CONTROL AND STAIR PRESSURIZATION EQUIPMENT IN THE BUILDING VIA THE NEW FIRE ALARM SYSTEM (ELIMINATING RELIANCE OF BMS SYSTEM TO CONTROL AND SUPERVISE THE SMOKE CONTROL AND STAIR PRESSURIZATION EQUIPMENT). THIS SCOPE OF WORK WOULD INCLUDE:
  - PROVIDING SUPERVISION AND CONTROL OF ELEVEN (11) DEDICATED SMOKE EXHAUST FANS THROUGHOUT THE BUILDING. THIS WOULD INCLUDE PROVIDING THREE (3) TOTAL ADDRESSABLE MODULES AT, OR IN THE VICINITY OF, EACH FAN AND/OR FAN CONTROL LOCATION. ONE (1) RELAY MODULE SHALL BE PROVIDED FOR FAN ACTIVATION, AND TWO (2) MONITOR MODULES SHALL BE PROVIDED FOR FAN RUNNING POSITIVE FEEDBACK AND NOT-IN-AUTO (POWER LOSS OR DRIVE/CONTROLS NOT IN AUTOMATIC) CONDITIONS. A STANDARD (NON-2HR RATED) SLC CONNECTION IS PERMITTED.
  - PROVIDING SUPERVISION AND CONTROL OF TWO (2) DEDICATED ATRIUM SUPPLY FANS LOCATED IN THE SOUTH GARAGE BASEMENT LEVEL MECHANICAL ROOM. THIS WOULD INCLUDE PROVIDING THREE (3) TOTAL ADDRESSABLE MODULES AT, OR IN THE VICINITY OF, EACH FAN AND/OR FA CONTROL LOCATION. ONE (1) RELAY MODULE SHALL BE PROVIDED FOR FAN ACTIVATION, AND TWO (2) MONITOR MODULES SHALL BE PROVIDED FOR FAN RUNNING POSITIVE FEEDBACK AND NOT-IN-AUTO (POWER LOSS OR DRIVE/CONTROLS NOT IN AUTOMATIC) CONDITIONS. A STANDARD (NON-2HR RATED) SLC CONNECTION IS PERMITTED. ONE (1) RELAY MODULE IS ALREADY INCLUDED IN THE BASE DRAWINGS AT EACH OF THESE FANS TO FACILITATE SHUTDOWN UPON DUCT SMOKE DETECTOR ACTIVATION AND CERTAIN ALARMS.
  - PROVIDING SUPERVISION AND CONTROL OF TWELVE (12) NON-DEDICATED RETURN FANS THROUGHOUT THE BUILDING. THIS WOULD INCLUDE PROVIDING THREE (3) TOTAL ADDRESSABLE MODULES AT, OR IN THE VICINITY OF, EACH FAN AND/OR FAN CONTROL LOCATION. ONE (1) RELAY MODULE SHALL BE PROVIDED FOR FAN ACTIVATION, AND TWO (2) MONITOR MODULES SHALL BE PROVIDED FOR FAN RUNNING POSITIVE FEEDBACK AND NOT-IN-AUTO (POWER LOSS OR DRIVE/CONTROLS NOT IN AUTOMATIC) CONDITIONS. A STANDARD (NON-2HR RATED) SLC CONNECTION IS PERMITTED. ONE (1) RELAY MODULE IS ALREADY INCLUDED IN THE BASE DRAWINGS AT EACH OF THESE FANS TO FACILITATE SHUTDOWN UPON DUCT SMOKE DETECTOR ACTIVATION AND CERTAIN ALARMS.
  - PROVIDE SUPERVISION AND CONTROL OF SIX (6) DEDICATED STAIR PRESSURIZATION FANS LOCATED AT THE TOP OF STARWELLS 1 THROUGH 6. THIS WOULD INCLUDE PROVIDING THREE (3) TOTAL ADDRESSABLE MODULES AT, OR IN THE VICINITY OF, EACH FAN. ONE (1) RELAY MODULE SHALL BE PROVIDED FOR FAN ACTIVATION, AND TWO (2) MONITOR MODULES SHALL BE PROVIDED FOR FAN RUNNING POSITIVE FEEDBACK AND NOT-IN-AUTO (POWER LOSS OR DRIVE/CONTROLS NOT IN AUTOMATIC) CONDITIONS. A 2-HOUR FIRE RESISTANCE RATED SLC IS REQUIRED FOR STAIR PRESSURIZATION CONTROL AND SUPERVISION. A 2-HOUR FIRE RESISTANCE RATED NETWORK CIRCUIT MAY BE REQUIRED IF THE 2-HOUR STAIR PRESSURIZATION SLC(S) ARE NOT DIRECTLY CONNECTED TO THE MAIN FIRE ALARM CONTROL UNIT IN THE FIRE COMMAND CENTER.
  - PROVIDE A NEW FIREFIGHTERS SMOKE CONTROL PANEL IN THE FIRE COMMAND CENTER TO REPLACE THE EXISTING LANDIS & GYR SMOKE CONTROL PANEL. THE CONTRACTOR SHALL INCLUDE ALL FEES ASSOCIATED WITH THE ENGINEERING, MANUFACTURING, INSTALLATION, PROGRAMMING AND TESTING OF THE NEW SMOKE CONTROL PANEL. IF THIS ALTERNATE IS SELECTED, A FIREFIGHTERS SMOKE CONTROL PANEL DESIGN WILL BE SUPPLIED TO THE CONTRACTOR.
- THE CONTRACTOR SHALL INCLUDE THE FEES ASSOCIATED WITH RETAINING ALL NECESSARY SUB-CONTRACTORS TO ASSIST WITH CUTOVER EFFORT, PRE-ACCEPTANCE TESTING, AND FINAL ACCEPTANCE TESTING OF FIRE ALARM SYSTEM INTERFACES WITH OTHER BUILDING SYSTEMS AND EQUIPMENT. ALL SUB-CONTRACTORS SHALL BE COORDINATED WITH THE OWNER. POTENTIAL SYSTEMS AND EQUIPMENT WHICH MAY REQUIRE SUB-CONTRACTOR SUPPORT INCLUDE, BUT MAY NOT BE LIMITED TO: ELEVATORS, ESCALATORS, FIRE PUMP, SPRINKLER SYSTEMS, HVAC EQUIPMENT, BUILDING MANAGEMENT/AUTOMATION SYSTEM, OVERHEAD DOORS, ELECTRONIC LOCKS, AUDIO CONTROL EQUIPMENT, AND LIGHTING CONTROL EQUIPMENT.

FIRE ALARM SYMBOL LEGEND		
	ADDRESSABLE PHOTOELECTRIC SMOKE DETECTOR	
	ADDRESSABLE DUCT SMOKE DETECTOR	
	OSID BEAM SMOKE DETECTION - BEAM IMAGER	
	OSID BEAM SMOKE DETECTION - BEAM EMITTER	
	FIXED TEMPERATURE 138F & RATE OF RISE ADDRESSABLE HEAT DETECTOR	
	ADDRESSABLE DOUBLE-ACTION MANUAL FIRE ALARM BOX	
	SPEAKER/STROBE NOTIFICATION APPLIANCE - WALL MOUNTED (CANDELA RATING AS NOTED)	
	SPEAKER/STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED (CANDELA RATING AS NOTED)	
	STROBE NOTIFICATION APPLIANCE - WALL MOUNTED (CANDELA RATING AS NOTED)	
	STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED (CANDELA RATING AS NOTED)	
	SPEAKER NOTIFICATION APPLIANCE - CEILING MOUNTED	
	SPEAKER NOTIFICATION APPLIANCE - WALL MOUNTED	
	HIGH-POWERED LOUDSPEAKER	
	FIRE ALARM CONTROL UNIT	
	DIGITIZE 6-ZONE MASTER BOX (EXISTING TO REMAIN)	
	FAULT ISOLATION MODULE	
	ADDRESSABLE MONITOR MODULE	
	ADDRESSABLE SUPERVISED CONTROL MODULE	
	ADDRESSABLE RELAY MODULE	
	FIRE DEPARTMENT KNOX KEY BOX	
	VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY	
	AUDIBLE (SPEAKER) NOTIFICATION APPLIANCE AMPLIFIER	
	FIRE ALARM SYSTEM NETWORK NODE	
	FIRE ALARM AS-BUILT DOCUMENTS CABINET	
	FIREFIGHTERS SMOKE CONTROL SYSTEM PANEL (EXISTING TO REMAIN)	
	REMOTE KEY TEST SWITCH WITH LED INDICATOR	
	REMOTE LCD ANNUNCIATOR PANEL	
	REMOTE ALARM INDICATOR	
	SPRINKLER SYSTEM VALVE SUPERVISORY SWITCH	
SUBSCRIPT LEGEND		
AHU	AIR HANDLING UNIT SHUTDOWN INTERFACE	WP WEATHER-PROOF APPLIANCE
FRI	PRIMARY FLOOR ELEVATOR RECALL	WF SPRINKLER WATERFLOW SWITCH
ALT	ALTERNATE FLOOR ELEVATOR RECALL	TS SPRINKLER VALVE TAMPER SWITCH
HAT	FLASHING HAT ELEVATOR FUNCTION	PS SPRINKLER PRESSURE SWITCH
CNV	CONVENTIONAL DEVICE	GEN GENERATOR RUNNING SUPERVISION
MPS	MANUAL PULL STATION	FP FIRE PUMP CONTROLLER SUPERVISION
ESC	ESCALATOR SHUTDOWN	AC AUDIO CONTROL EQUIPMENT INTERFACE
DH	DOOR HOLDER RELEASE	LC LIGHTING CONTROL EQUIPMENT INTERFACE
OH	OVERHEAD DOOR INTERFACE	E EXISTING EQUIPMENT TO REMAIN
BD	BEAM DETECTOR CONTROLLER SUPERVISION	
CEILING ABBREVIATION LEGEND		
ACT	SUSPENDED ACOUSTIC CEILING	B.O.B. BOTTOM OF BEAM ELEVATION
HC	GYPSUM WALL BOARD (HARD) CEILING	DECK EXPOSED BUILDING STRUCTURE



**TYPICAL MOUNTING HEIGHT DETAIL FOR WALL-MOUNTED COMPONENTS**  
SCALE: NOT TO SCALE

**JENSEN HUGHES**  
Advancing the Science of Safety  
117 METRO CENTER BLVD., SUITE 1002  
WARWICK, RHODE ISLAND 02886  
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NO.	REVISION	DATE

PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
1 SABIN STREET  
PROVIDENCE, RI 02903

PROJECT NO  
1EMC00116.000

DATE  
MAY 31, 2023

DESIGN  
EBJ

DRAWN BY  
EBJ

CHECKED BY  
EMC / PSM

SCALE  
0 8' 16' 32'  
1/16" = 1'-0"

TITLE  
**PROJECT NOTES & SYMBOLS LEGEND**

NUMBER  
**FA-0.1**

SHEET  
2 OF 29





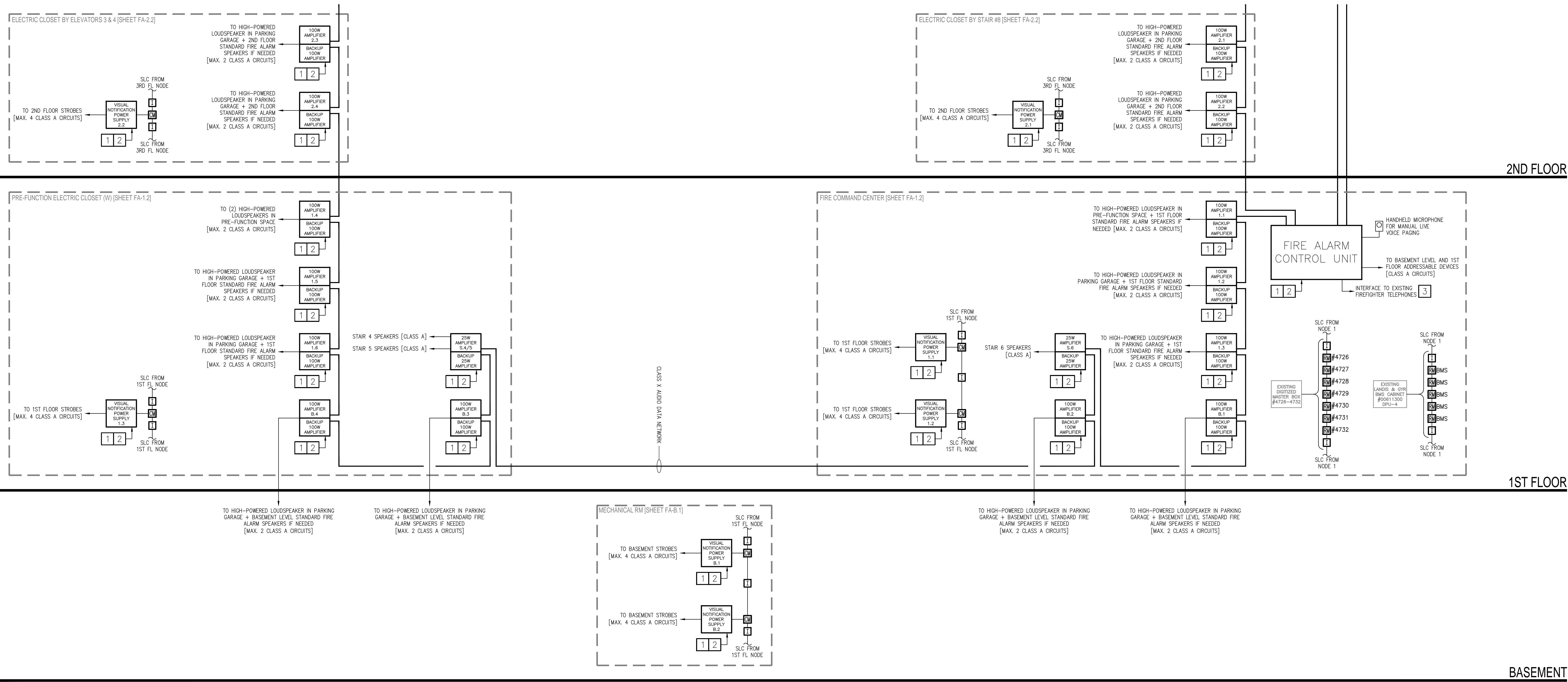


**RISER DIAGRAM KEYNOTES**

1. PROVIDE 120 VAC DEDICATED FIRE ALARM SYSTEM EQUIPMENT CIRCUIT. PROVIDE BREAKER LOCK ON ALL FIRE ALARM SYSTEM CIRCUIT BREAKERS AND CLEARLY LABEL ALL FIRE ALARM SYSTEM BREAKERS AND IDENTIFY PANEL DESIGNATION AND BREAKER NUMBER(S) IN ALL FIRE ALARM CONTROL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONNECTIONS TO BUILDING POWER FOR ALL 120VAC FIRE ALARM SYSTEM CONTROL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NUMBER OF DEDICATED 120VAC CIRCUITS NECESSARY TO POWER ALL FIRE ALARM SYSTEM EQUIPMENT.
2. PROVIDE RECHARGEABLE BATTERIES FOR SECONDARY POWER AND SIZE ACCORDINGLY TO ACCOMMODATE 60-HOURS OF FIRE ALARM STANDBY FOLLOWED BY 15-MINUTES OF ALARM UPON LOSS OF PRIMARY AC POWER.
3. IT IS ESTIMATED THAT THERE ARE APPROXIMATELY 100 EXISTING FIREFIGHTER TELEPHONES THROUGHOUT THE BUILDING WHICH SHALL BE INTERFACED TO THE NEW FIRE ALARM SYSTEM. EXISTING FIREFIGHTER TELEPHONE FIELD CIRCUITRY SHALL BE PERMITTED TO BE REUSED, PROVIDED THAT IT IS IN GOOD WORKING CONDITION.

**CONCEPTUAL RISER DIAGRAM NOTES**

1. THE RISER DIAGRAM IS CONCEPTUAL IN NATURE. IT DOES NOT INTEND TO REPRESENT ACTUAL WIRING AND RACEWAY INSTALLATION. THE ACTUAL NUMBER OF CONDUCTORS REQUIRED FOR THE INSTALLATION SHALL BE DETERMINED BY THE CONTRACTOR.
2. ALL CONDUCTORS AND WIRING REQUIRED SHALL BE NEW (WITH THE EXCEPTION OF THE FIREFIGHTER TELEPHONE CIRCUITRY) AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE RHODE ISLAND LIFE SAFETY CODE, NFPA 72-2019 EDITION, NFPA 70-2017 EDITION, AND THE MASTER TECHNICAL SPECIFICATIONS.
3. THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE THE FINAL QUANTITY OF VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES AND AUDIBLE (SPEAKER) NOTIFICATION APPLIANCE AMPLIFIERS TO SUPPORT ALL NOTIFICATION APPLIANCES SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE THE REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. THE QUANTITY OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS SHOWN ON THESE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTORS FOR ESTIMATING PURPOSES. THE QUANTITY OF AMPLIFIERS PROVIDED ON THE DRAWINGS WAS ESTIMATED BASED ON THE AMPLIFIER SIZES NOTED ON THE RISER DIAGRAM. THE QUANTITY OF REMOTE POWER SUPPLIES PROVIDED ON THE DRAWINGS WAS ESTIMATED BASED ON 8-AMP POWER SUPPLIES. THE LOCATION OF EACH REMOTE POWER SUPPLY AND AUDIO AMPLIFIER SHALL BE APPROVED BY THE OWNER AND JENSEN HUGHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, PROGRAMMING AND TESTING A SMOKE DETECTOR IN THE VICINITY OF ALL FIRE ALARM CONTROL EQUIPMENT INCLUDING REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. ALL REMOTE POWER SUPPLIES ARE REQUIRED TO BE TRIPPED VIA CONTROL MODULE ON THE SIGNALING LINE CIRCUIT (SLC) THAT IS COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC.
4. THE INSTALLING CONTRACTOR SHALL FIELD LOCATE FAULT ISOLATION MODULES AS NECESSARY TO MEET THE REQUIREMENTS OF THE RISER AND AS OUTLINED BELOW. NO MORE THAN 25 ADDRESSABLE DEVICES SHALL BE PERMITTED TO BE INSTALLED BETWEEN FAULT ISOLATION MODULES. ISOLATION MODULES SHALL BE PROVIDED SUCH THAT THE DEVICES ON EACH FLOOR LEVEL ARE ISOLATED FROM THE DEVICES ON ANY OTHER FLOOR LEVEL. EACH CONTROL MODULE RESPONSIBLE FOR ACTIVATING A NOTIFICATION APPLIANCE REMOTE POWER SUPPLY SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC. THE GROUP OF RELAY MODULES FOR TRANSMITTING THE DIGITIZED MASTER BOX ZONES SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC. THE GROUP OF RELAY MODULES RESPONSIBLE FOR ACTIVATING DRY CONTACT INPUTS ON THE BMS DPU PANEL SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC.
5. THE SEPARATION BETWEEN THE OUTGOING AND RETURN CIRCUITS SHALL BE A MINIMUM OF 1-FOOT VERTICALLY AND 4-FEET HORIZONTALLY, WHERE PRACTICAL.
6. ALL SPEAKER NOTIFICATION APPLIANCE CIRCUITS SHALL BE CONFIGURED FOR 70.7 VRMS INPUT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF AND THE CONNECTION TO BUILDING POWER FOR ALL FIRE ALARM CONTROL EQUIPMENT. ALL 120VAC FIRE ALARM CIRCUITS SHALL BE INSTALLED IN A DEDICATED RACEWAY (EMT MINIMUM). THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NUMBER OF 120VAC CIRCUITS NECESSARY TO POWER ALL FIRE ALARM CONTROL EQUIPMENT. ALL FIRE ALARM SYSTEM EQUIPMENT SHALL BE POWERED FROM A DEDICATED FIRE ALARM SYSTEM CIRCUIT. ALL FIRE ALARM SYSTEM BREAKERS SHALL BE PROVIDED WITH AN APPROPRIATE LOCK AND SHALL BE CLEARLY LABELED. ALL FIRE ALARM SYSTEM CONTROL EQUIPMENT SHALL BE PROVIDED WITH A LABEL WHICH INDICATES IN 120VAC SUB-PANEL DESIGNATION, LOCATION, AND BREAKER NUMBER.
8. POWER-LIMITED FIRE ALARM CIRCUITRY AND NON-POWER-LIMITED CIRCUITRY (120VAC POWER) SHALL NOT BE INSTALLED IN THE SAME RACEWAY.
9. ALL WIRING WITHIN FIRE ALARM CONTROL EQUIPMENT ENCLOSURES SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. POWER-LIMITED AND NON-POWER-LIMITED CIRCUITRY SHALL BE STRATEGICALLY ROUTED TO MAINTAIN THE GREATEST PHYSICAL SEPARATION FEASIBLE.
10. ALL FIRE ALARM NETWORK CIRCUITRY (AND AUDIO DATA NETWORK CIRCUITRY IF APPLICABLE) SHALL BE INSTALLED IN A DEDICATED RACEWAY (EMT MINIMUM). IF APPLICABLE, AUDIO NETWORK AND FIRE ALARM NETWORK CIRCUITRY ARE PERMITTED TO BE INSTALLED IN THE SAME RACEWAY. MC CABLE IS NOT PERMITTED FOR NETWORK CIRCUITRY.
11. ALL FIRE ALARM SYSTEM WIRING (OTHER THAN NETWORK CIRCUITRY AND 120VAC CIRCUITRY) SHALL BE PERMITTED TO BE INSTALLED IN EMT RACEWAY OR MC CABLE. MC CABLE SHALL ONLY BE PERMITTED ABOVE ACCESSIBLE CEILINGS.
12. EACH OF THE SIX (6) MAIN PUBLIC USE EGRESS STAIRS (STAIRS 1 THROUGH 6) SHALL BE PROVIDED WITH A DEDICATED SPEAKER CIRCUIT TO ALLOW FOR INDIVIDUAL PAGING.
13. ALL SPEAKER AND STROBE CIRCUITS SHALL SERVE APPLIANCES LOCATED ON A SINGLE FLOOR ONLY.



**CONCEPTUAL FIRE ALARM CONTROL EQUIPMENT RISER**

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION, ALTERED BY FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	REVISION	DATE

PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

PROJECT NO  
 1EMC00116.000

DATE  
 MAY 31, 2023

DESIGN  
 EBJ

DRAWN BY  
 EBJ

CHECKED BY  
 EMC | PSM

SCALE  
 0 8' 16' 32'  
 1/16" = 1'-0"

TITLE  
**CONTROL EQUIPMENT CONCEPTUAL RISER DIAGRAM (1 OF 2)**

NUMBER  
**FA-0.3**

SHEET  
 4 OF 29

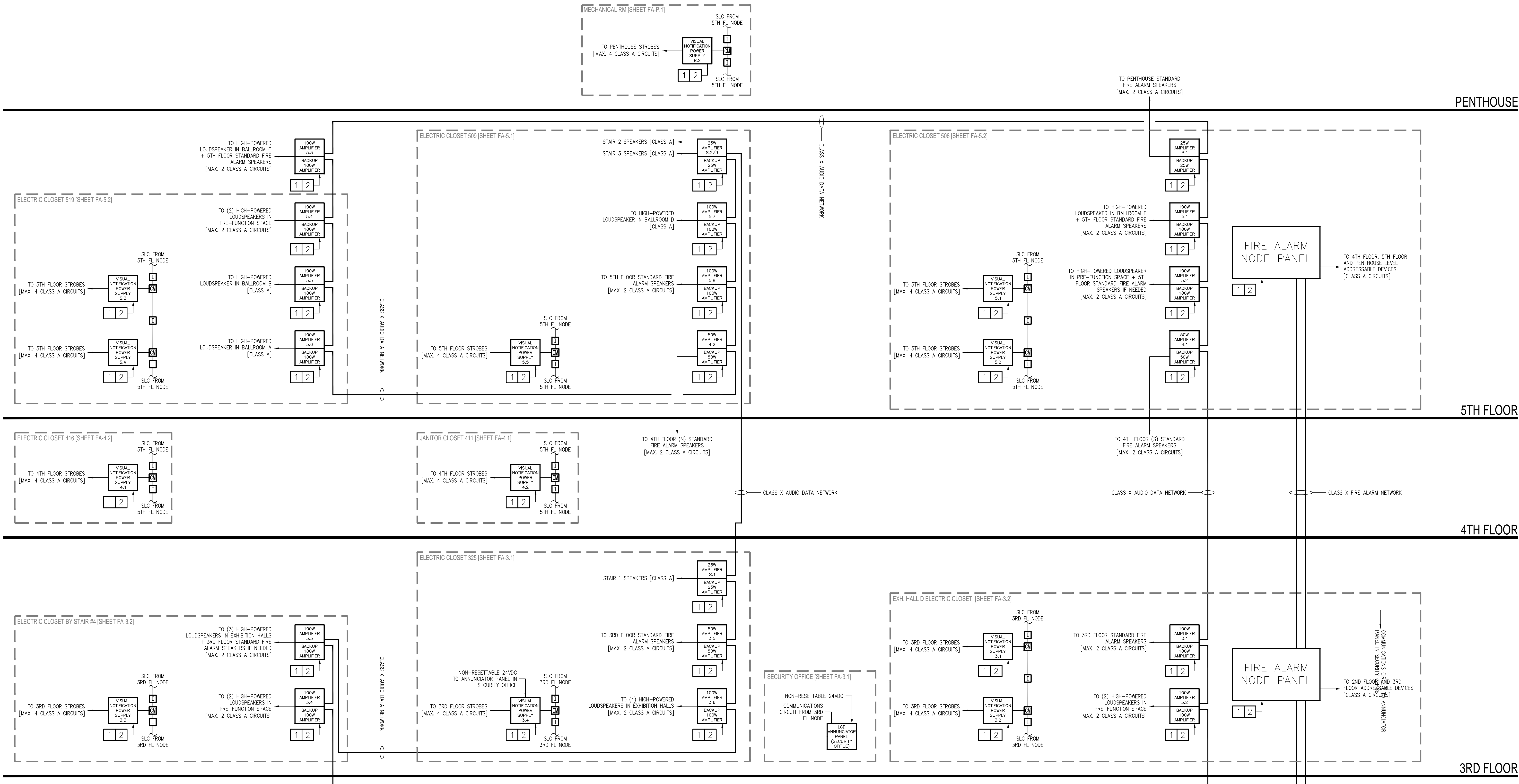


**RISER DIAGRAM KEYNOTES**

1. PROVIDE 120 VAC DEDICATED FIRE ALARM SYSTEM EQUIPMENT CIRCUIT. PROVIDE BREAKER LOCK ON ALL FIRE ALARM SYSTEM CIRCUIT BREAKERS AND CLEARLY LABEL ALL FIRE ALARM SYSTEM BREAKERS AND IDENTIFY PANEL DESIGNATION AND BREAKER NUMBER(S) IN ALL FIRE ALARM CONTROL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONNECTIONS TO BUILDING POWER FOR ALL 120VAC FIRE ALARM SYSTEM CONTROL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NUMBER OF DEDICATED 120VAC CIRCUITS NECESSARY TO POWER ALL FIRE ALARM SYSTEM EQUIPMENT.
2. PROVIDE RECHARGEABLE BATTERIES FOR SECONDARY POWER AND SIZE ACCORDINGLY TO ACCOMMODATE 60-HOURS OF FIRE ALARM STANDBY FOLLOWED BY 15-MINUTES OF ALARM UPON LOSS OF PRIMARY AC POWER.
3. IT IS ESTIMATED THAT THERE ARE APPROXIMATELY 100 EXISTING FIREFIGHTER TELEPHONES THROUGHOUT THE BUILDING WHICH SHALL BE INTERFACED TO THE NEW FIRE ALARM SYSTEM. EXISTING FIREFIGHTER TELEPHONE FIELD CIRCUITRY SHALL BE PERMITTED TO BE REUSED, PROVIDED THAT IT IS IN GOOD WORKING CONDITION.

**CONCEPTUAL RISER DIAGRAM NOTES**

1. THE RISER DIAGRAM IS CONCEPTUAL IN NATURE. IT DOES NOT INTEND TO REPRESENT ACTUAL WIRING AND RACEWAY INSTALLATION. THE ACTUAL NUMBER OF CONDUCTORS REQUIRED FOR THE INSTALLATION SHALL BE DETERMINED BY THE CONTRACTOR.
2. ALL CONDUCTORS AND WIRING REQUIRED SHALL BE NEW (WITH THE EXCEPTION OF THE FIREFIGHTER TELEPHONE CIRCUITRY) AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE RHODE ISLAND LIFE SAFETY CODE, NFPA 72-2019 EDITION, NFPA 70-2017 EDITION, AND THE MASTER TECHNICAL SPECIFICATIONS.
3. THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE THE FINAL QUANTITY OF VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES AND AUDIBLE (SPEAKER) NOTIFICATION APPLIANCE AMPLIFIERS TO SUPPORT ALL NOTIFICATION APPLIANCES SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE THE REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. THE QUANTITY OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS SHOWN ON THESE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTORS FOR ESTIMATING PURPOSES. THE QUANTITY OF AMPLIFIERS PROVIDED ON THE DRAWINGS WAS ESTIMATED BASED ON THE AMPLIFIER SIZES NOTED ON THE RISER DIAGRAM. THE QUANTITY OF REMOTE POWER SUPPLIES PROVIDED ON THE DRAWINGS WAS ESTIMATED BASED ON 8-AMP POWER SUPPLIES. THE LOCATION OF EACH REMOTE POWER SUPPLY AND AUDIO AMPLIFIER SHALL BE APPROVED BY THE OWNER AND JENSEN HUGHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, PROGRAMMING AND TESTING A SMOKE DETECTOR IN THE VICINITY OF ALL FIRE ALARM CONTROL EQUIPMENT INCLUDING REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. ALL REMOTE POWER SUPPLIES ARE REQUIRED TO BE TRIPPED VIA CONTROL MODULE ON THE SIGNALING LINE CIRCUIT (SLC) THAT IS COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC.
4. THE INSTALLING CONTRACTOR SHALL FIELD LOCATE FAULT ISOLATION MODULES AS NECESSARY TO MEET THE REQUIREMENTS OF THE RISLC AND AS OUTLINED BELOW. NO MORE THAN 25 ADDRESSABLE DEVICES SHALL BE PERMITTED TO BE INSTALLED BETWEEN FAULT ISOLATION MODULES. ISOLATION MODULES SHALL BE PROVIDED SUCH THAT THE DEVICES ON EACH FLOOR LEVEL ARE ISOLATED FROM THE DEVICES ON ANY OTHER FLOOR LEVEL. EACH CONTROL MODULE RESPONSIBLE FOR ACTIVATING A NOTIFICATION APPLIANCE REMOTE POWER SUPPLY SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC. THE GROUP OF RELAY MODULES FOR TRANSMITTING THE DIGITIZED MASTER BOX ZONES SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC. THE GROUP OF RELAY MODULES RESPONSIBLE FOR ACTIVATING DRY CONTACT INPUTS ON THE BMS DPU PANEL SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE DEVICES ON THE SLC.
5. THE SEPARATION BETWEEN THE OUTGOING AND RETURN CIRCUITS SHALL BE A MINIMUM OF 1-FOOT VERTICALLY AND 4-FEET HORIZONTALLY, WHERE PRACTICAL.
6. ALL SPEAKER NOTIFICATION APPLIANCE CIRCUITS SHALL BE CONFIGURED FOR 70.7 VRMS INPUT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF AND THE CONNECTION TO BUILDING POWER FOR ALL FIRE ALARM CONTROL EQUIPMENT. ALL 120VAC FIRE ALARM CIRCUITS SHALL BE INSTALLED IN A DEDICATED RACEWAY (EMT MINIMUM). THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NUMBER OF 120VAC CIRCUITS NECESSARY TO POWER ALL FIRE ALARM CONTROL EQUIPMENT. ALL FIRE ALARM SYSTEM EQUIPMENT SHALL BE POWERED FROM A DEDICATED FIRE ALARM SYSTEM CIRCUIT. ALL FIRE ALARM SYSTEM BREAKERS SHALL BE PROVIDED WITH AN APPROPRIATE LOCK AND SHALL BE CLEARLY LABELED. ALL FIRE ALARM SYSTEM CONTROL EQUIPMENT SHALL BE PROVIDED WITH A LABEL WHICH INDICATES IN 120VAC SUB-PANEL DESIGNATION, LOCATION, AND BREAKER NUMBER.
8. POWER-LIMITED FIRE ALARM CIRCUITRY AND NON-POWER-LIMITED CIRCUITRY (120VAC POWER) SHALL NOT BE INSTALLED IN THE SAME RACEWAY.
9. ALL WIRING WITHIN FIRE ALARM CONTROL EQUIPMENT ENCLOSURES SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. POWER-LIMITED AND NON-POWER-LIMITED CIRCUITRY SHALL BE STRATEGICALLY ROUTED TO MAINTAIN THE GREATEST PHYSICAL SEPARATION FEASIBLE.
10. ALL FIRE ALARM NETWORK CIRCUITRY (AND AUDIO DATA NETWORK CIRCUITRY IF APPLICABLE) SHALL BE INSTALLED IN A DEDICATED RACEWAY (EMT MINIMUM). IF APPLICABLE, AUDIO NETWORK AND FIRE ALARM NETWORK CIRCUITRY ARE PERMITTED TO BE INSTALLED IN THE SAME RACEWAY. MC CABLE IS NOT PERMITTED FOR NETWORK CIRCUITRY.
11. ALL FIRE ALARM SYSTEM WIRING (OTHER THAN NETWORK CIRCUITRY AND 120VAC CIRCUITRY) SHALL BE PERMITTED TO BE INSTALLED IN EMT RACEWAY OR MC CABLE. MC CABLE SHALL ONLY BE PERMITTED ABOVE ACCESSIBLE CEILING.
12. EACH OF THE SIX (6) MAIN PUBLIC USE EGRESS STAIRS (STAIRS 1 THROUGH 6) SHALL BE PROVIDED WITH A DEDICATED SPEAKER CIRCUIT TO ALLOW FOR INDIVIDUAL PAGING.
13. ALL SPEAKER AND STROBE CIRCUITS SHALL SERVE APPLIANCES LOCATED ON A SINGLE FLOOR ONLY.



**CONCEPTUAL FIRE ALARM CONTROL EQUIPMENT RISER**

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION ALTERED BY FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	REVISION	DATE

**PROJECT**  
 RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT

**ADDRESS**  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

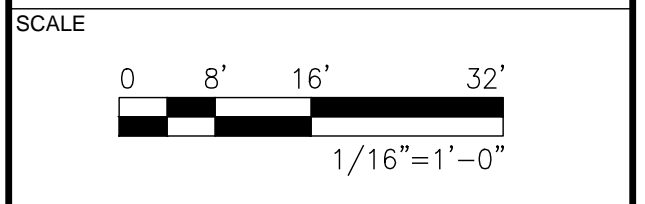
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**DATE**  
 MAY 31, 2023

**DESIGN**  
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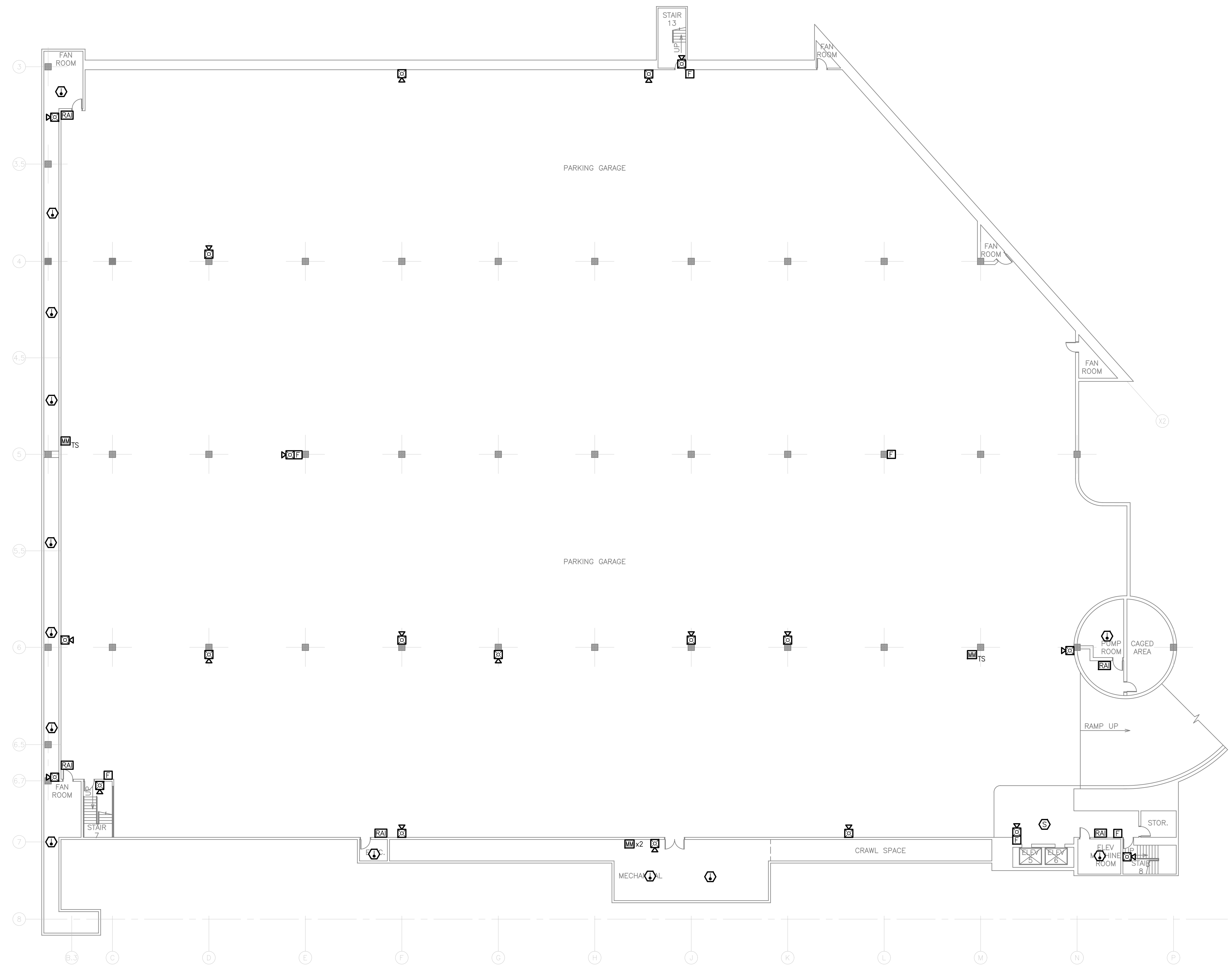
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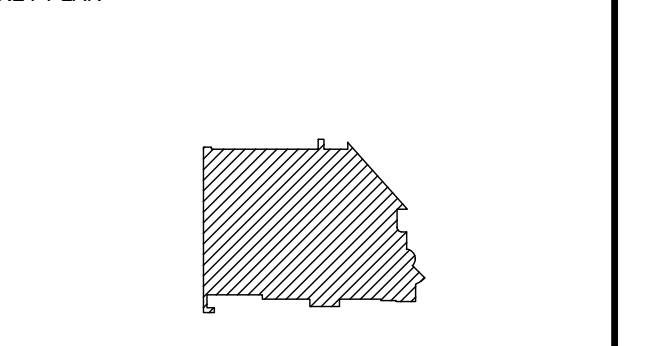
**NUMBER**  
 FA-0.4



**BASEMENT LEVEL - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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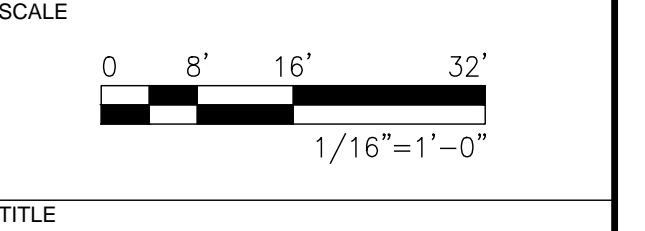
PROJECT NO.  
 1EMC00116.000

DATE  
 MAY 31, 2023

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TITLE  
**BASEMENT LEVEL FIRE ALARM DEMOLITION PLAN**

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**FA-B.1D**

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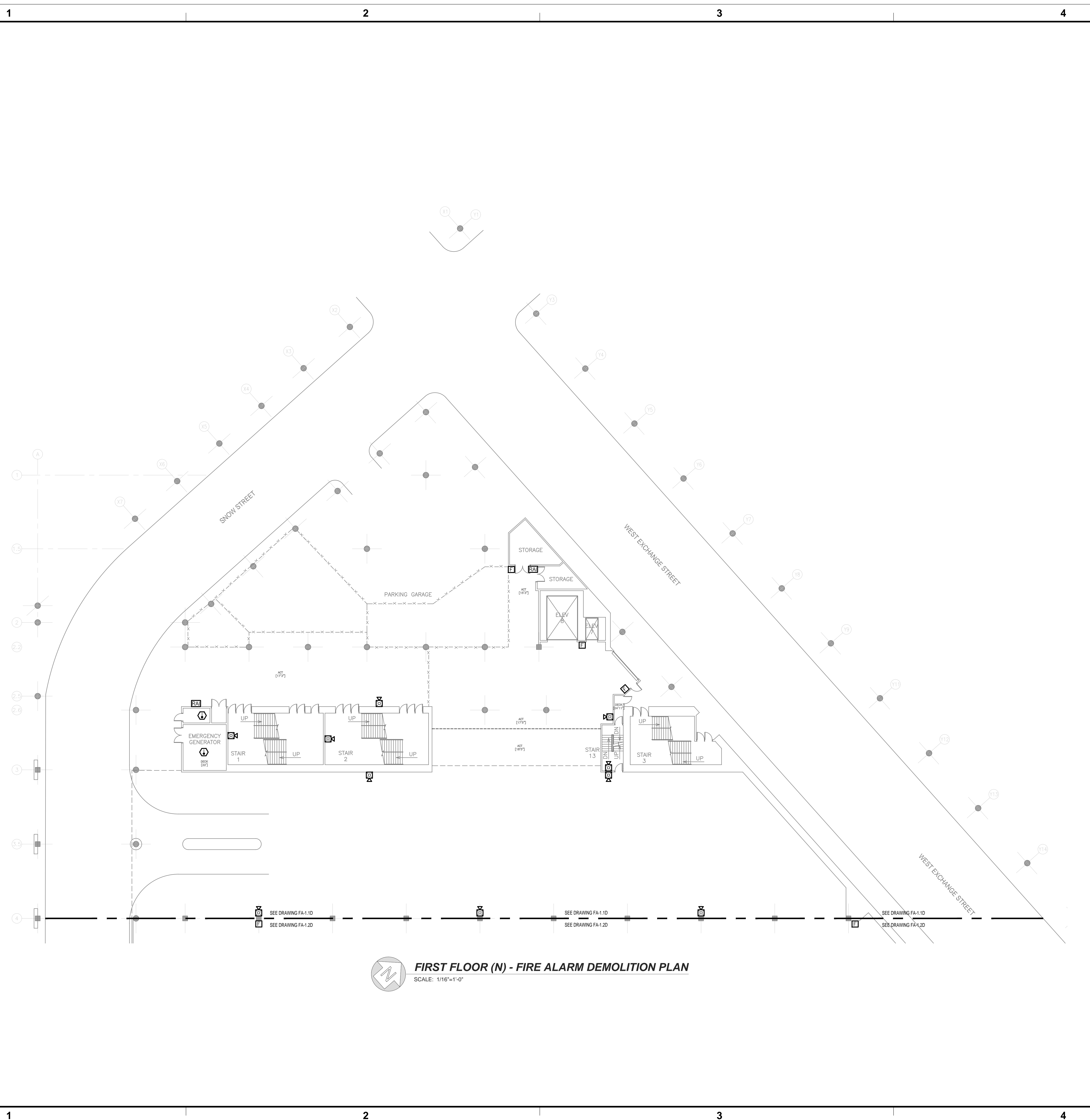
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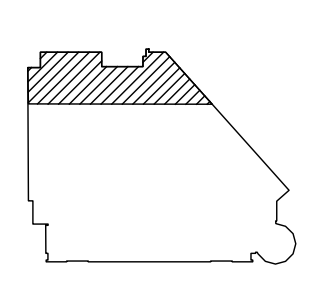


**FIRST FLOOR (N) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL

KEY PLAN



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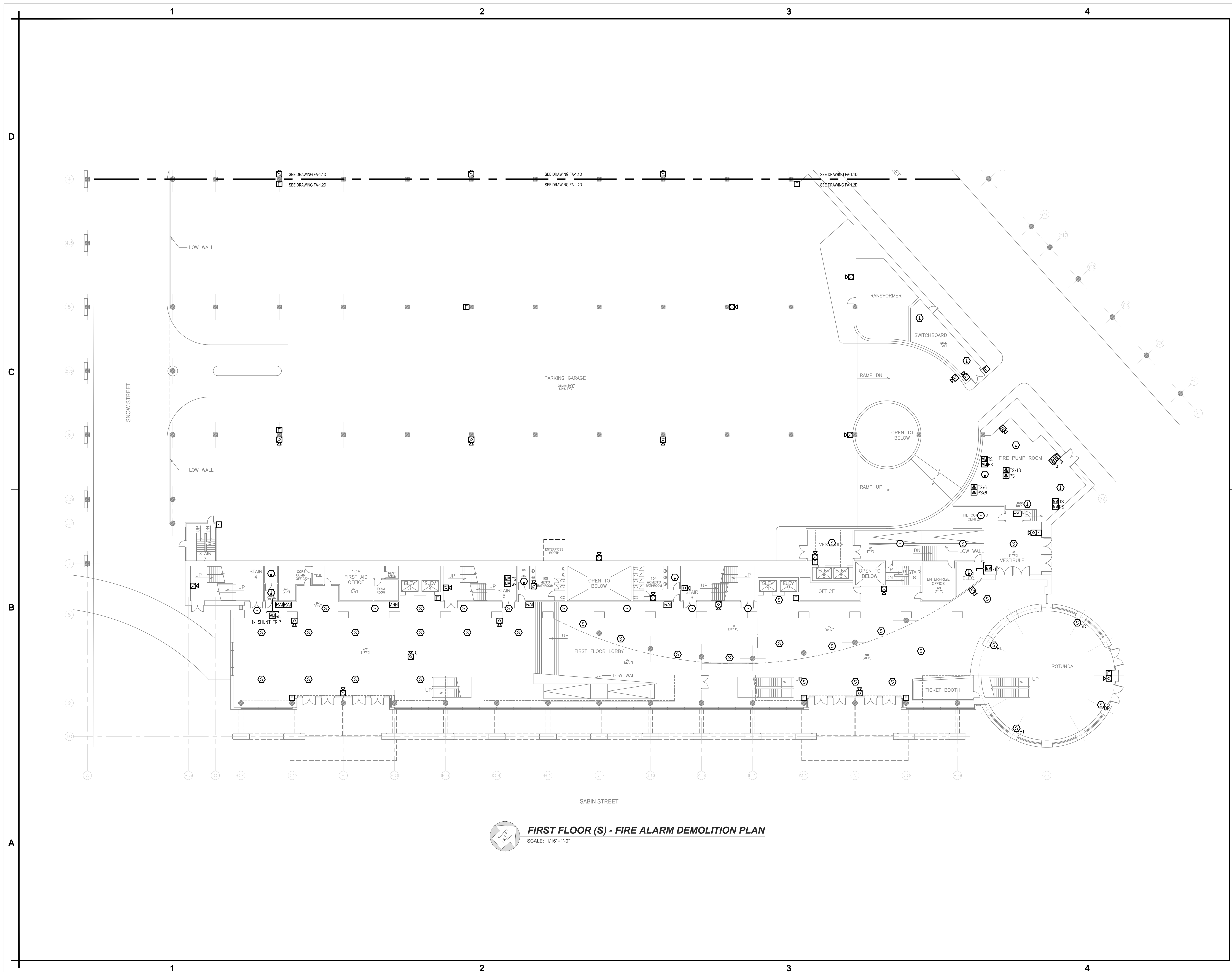
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TITLE  
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NUMBER  
**FA-1.1D**

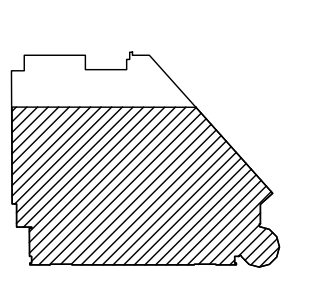
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**FIRST FLOOR (S) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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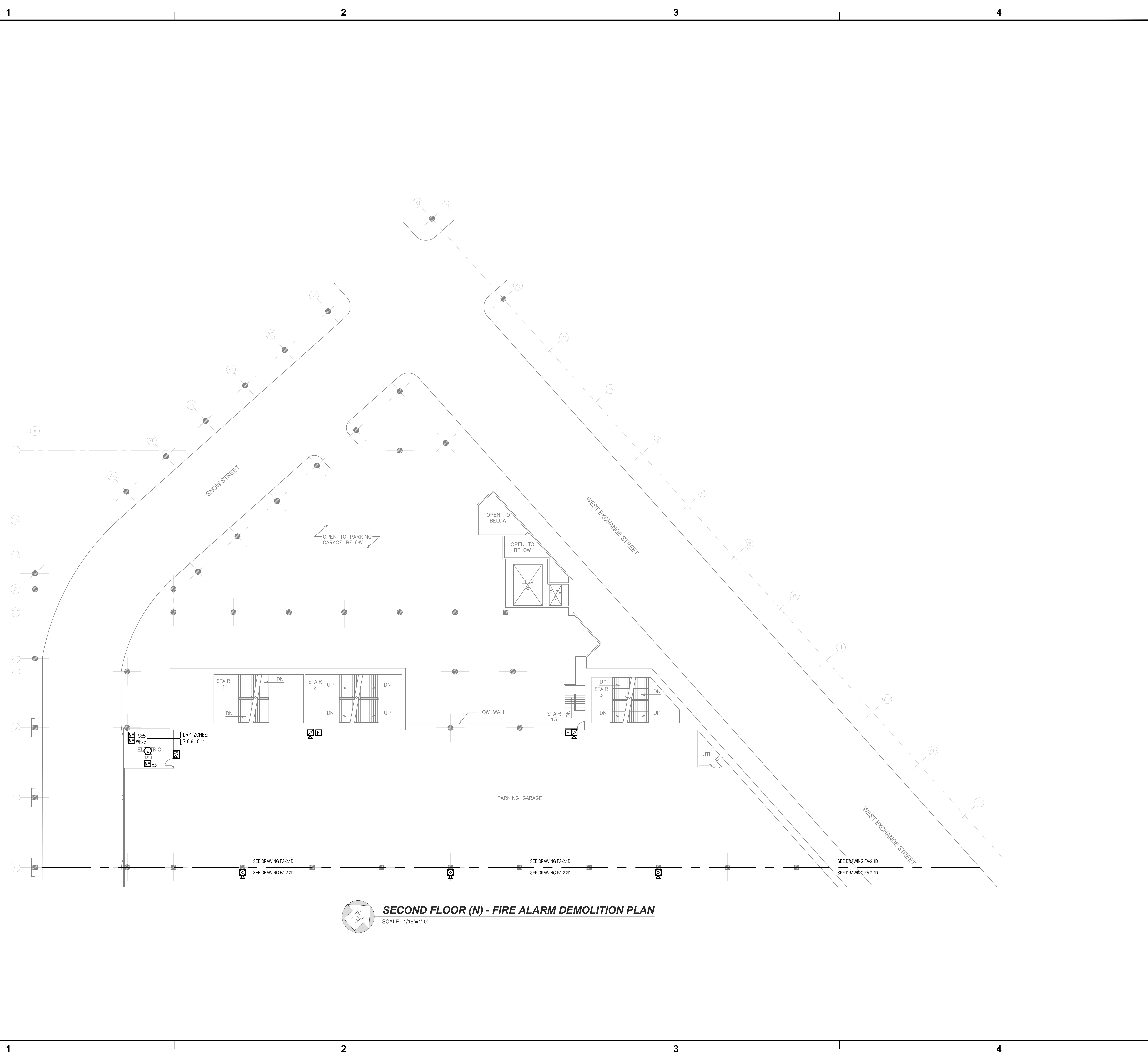
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 FIRE ALARM  
 DEMOLITION PLAN**

NUMBER  
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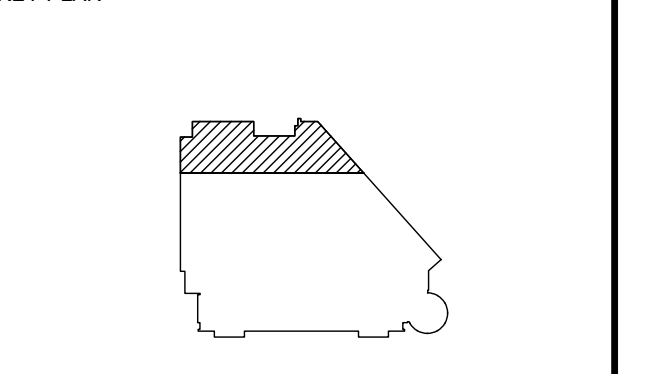
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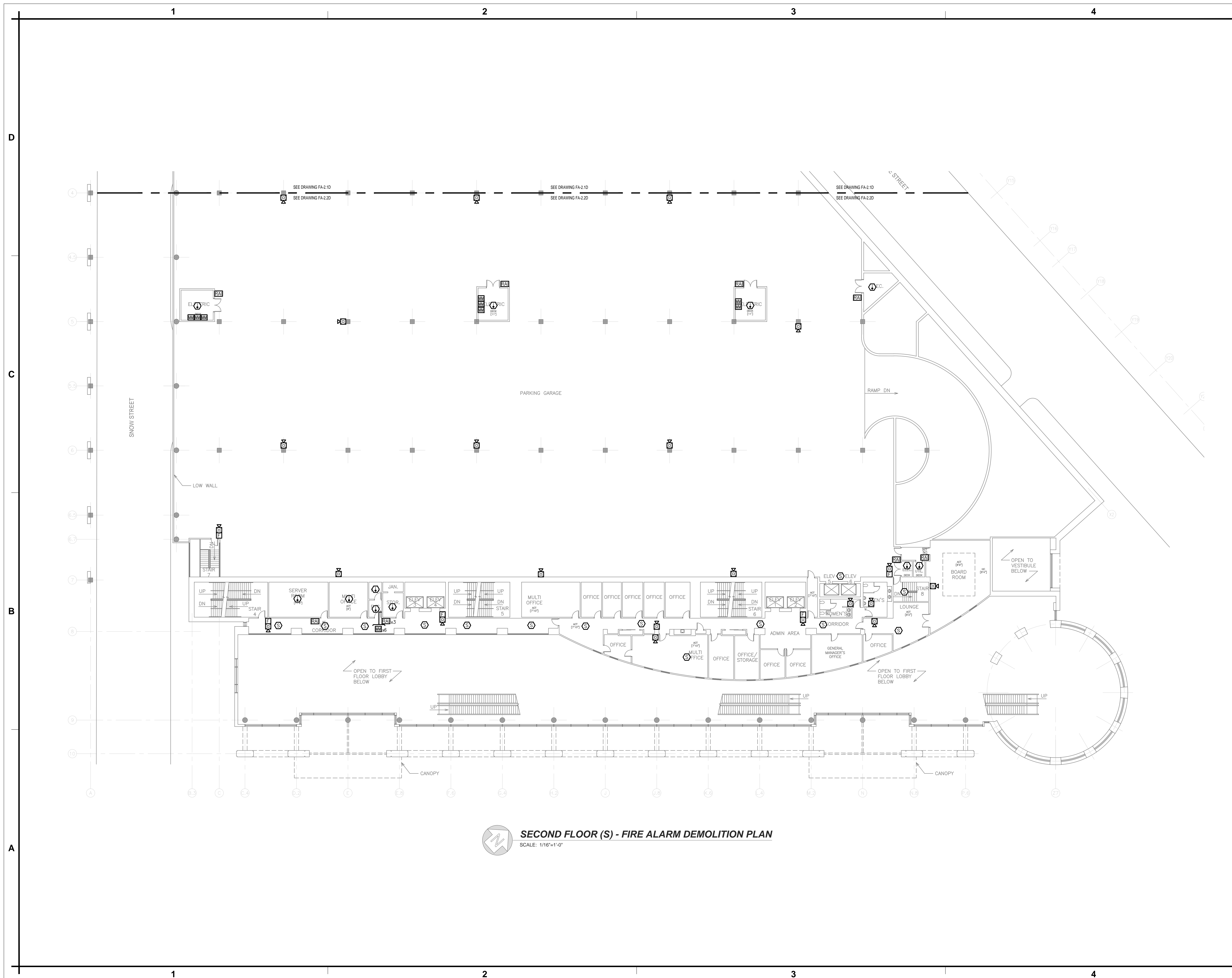
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PROJECT	RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT	
ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903	
PROJECT NO.	1EMC00116.000	
DATE	MAY 31, 2023	
DESIGN	EBJ	
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SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	SECOND FLOOR NORTH FIRE ALARM DEMOLITION PLAN
NUMBER	FA-2.1D
SHEET	9 OF 29



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IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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PROJECT  
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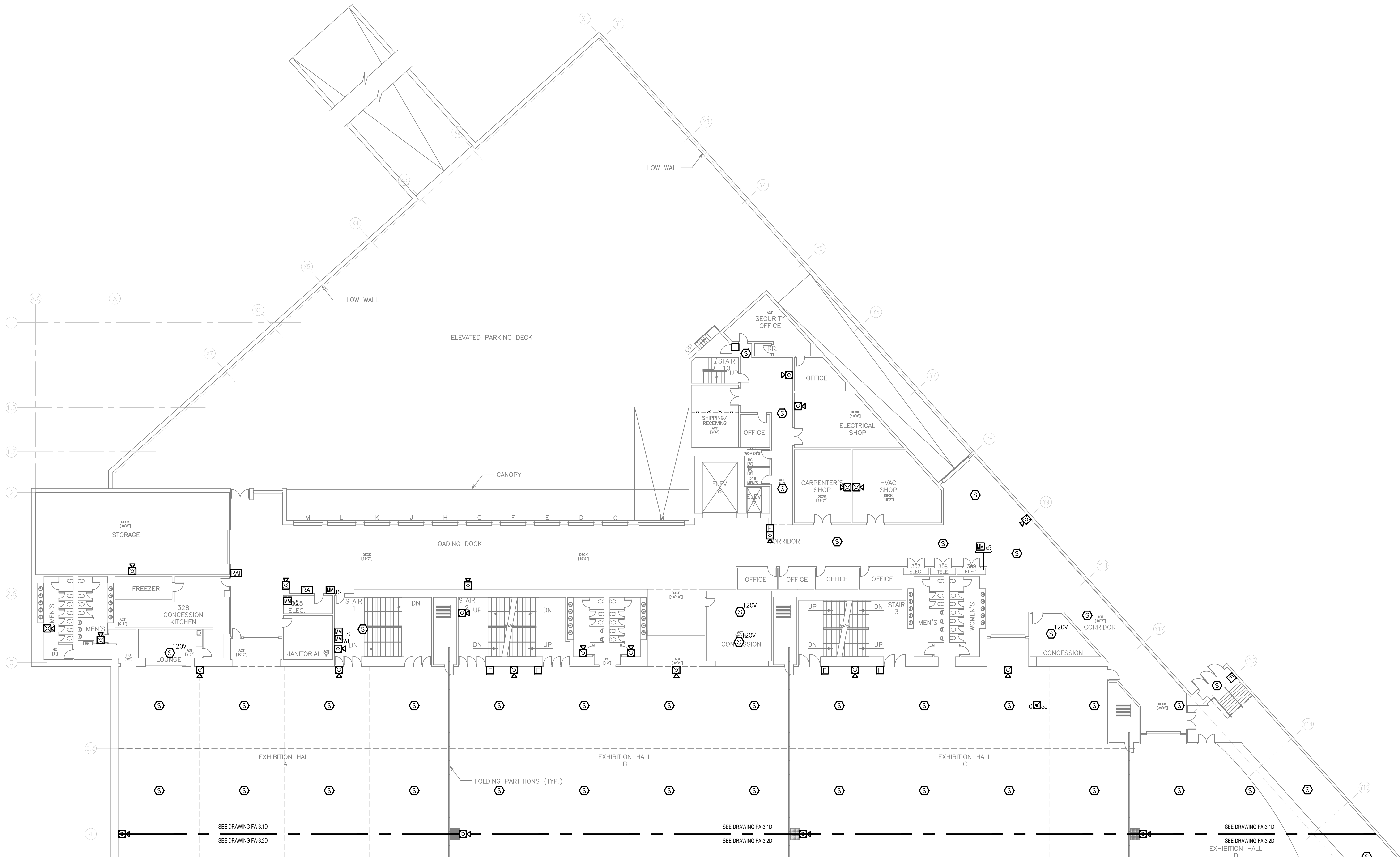
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TITLE  
 SECOND FLOOR SOUTH  
 FIRE ALARM  
 DEMOLITION PLAN

NUMBER  
 FAD-2.2

SHEET  
 10 OF 29





**THIRD FLOOR (N) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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ADDRESS  
 1 SABIN STREET  
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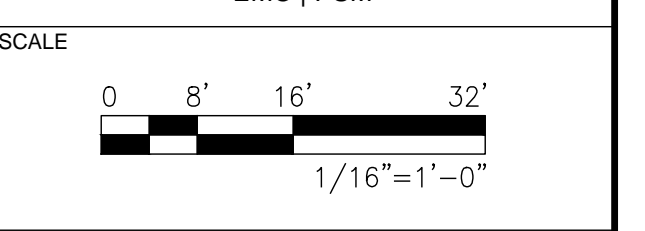
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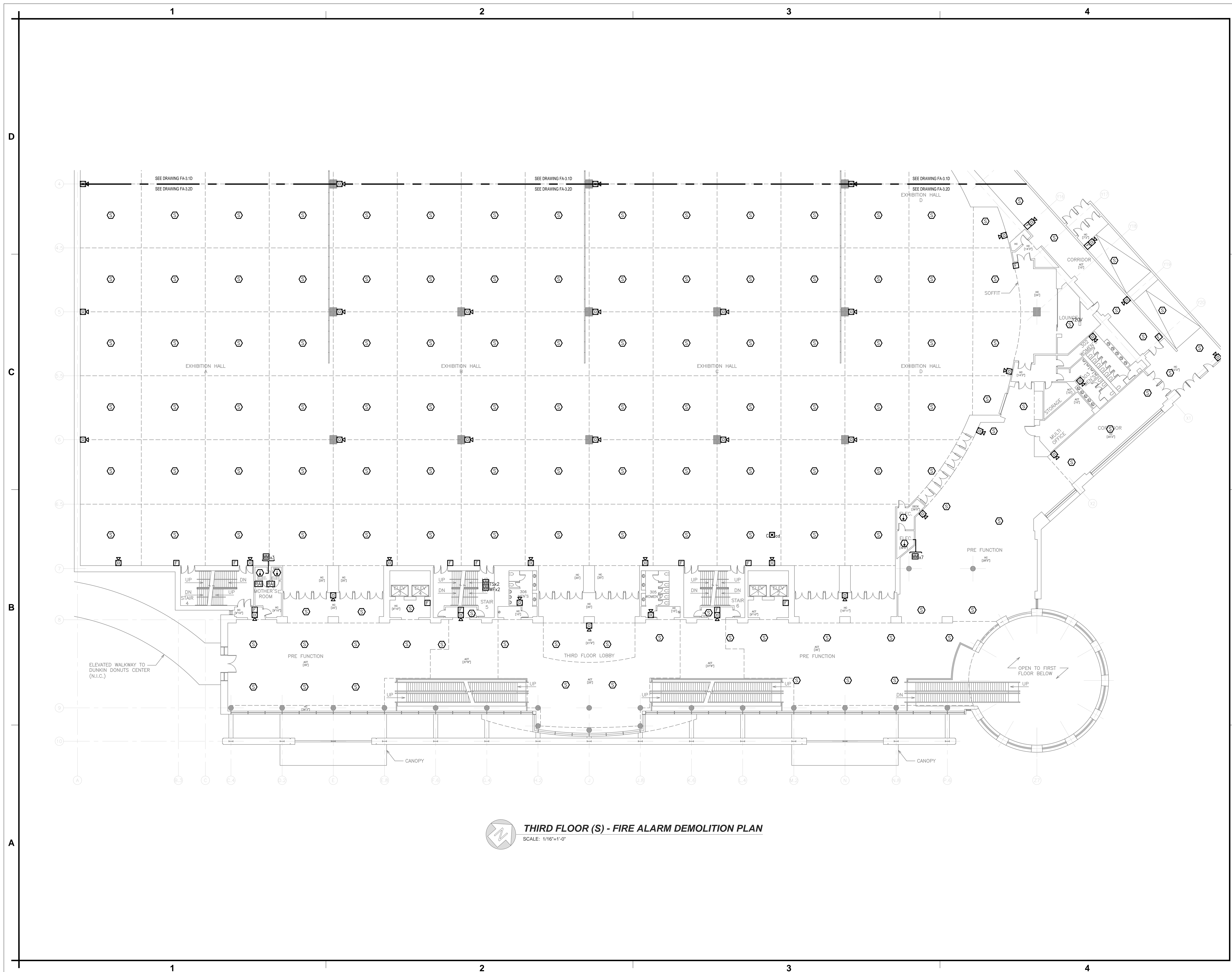
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TITLE  
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NUMBER  
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SHEET  
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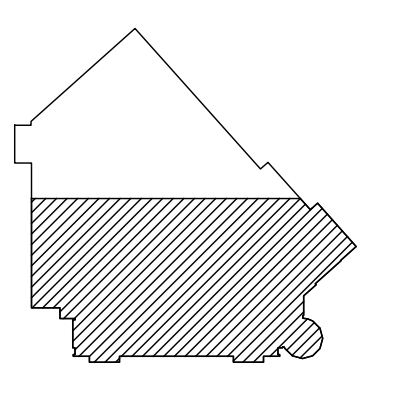


**THIRD FLOOR (S) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

SEAL

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 FIRE ALARM SYSTEM  
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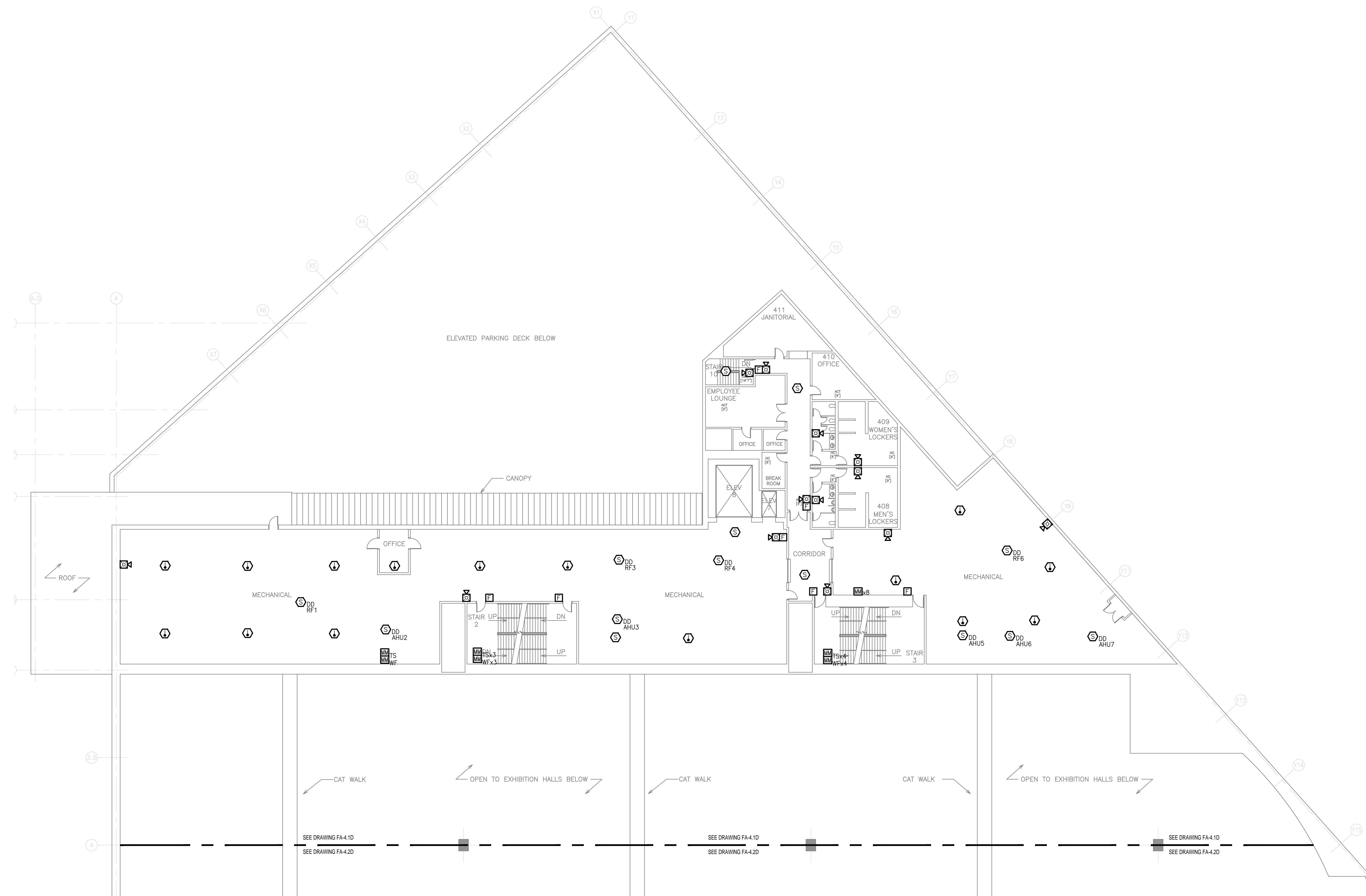
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TITLE  
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 FIRE ALARM  
 DEMOLITION PLAN**

NUMBER  
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SHEET  
 12 OF 29

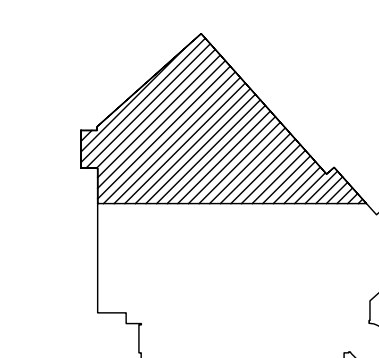




**FOURTH FLOOR (N) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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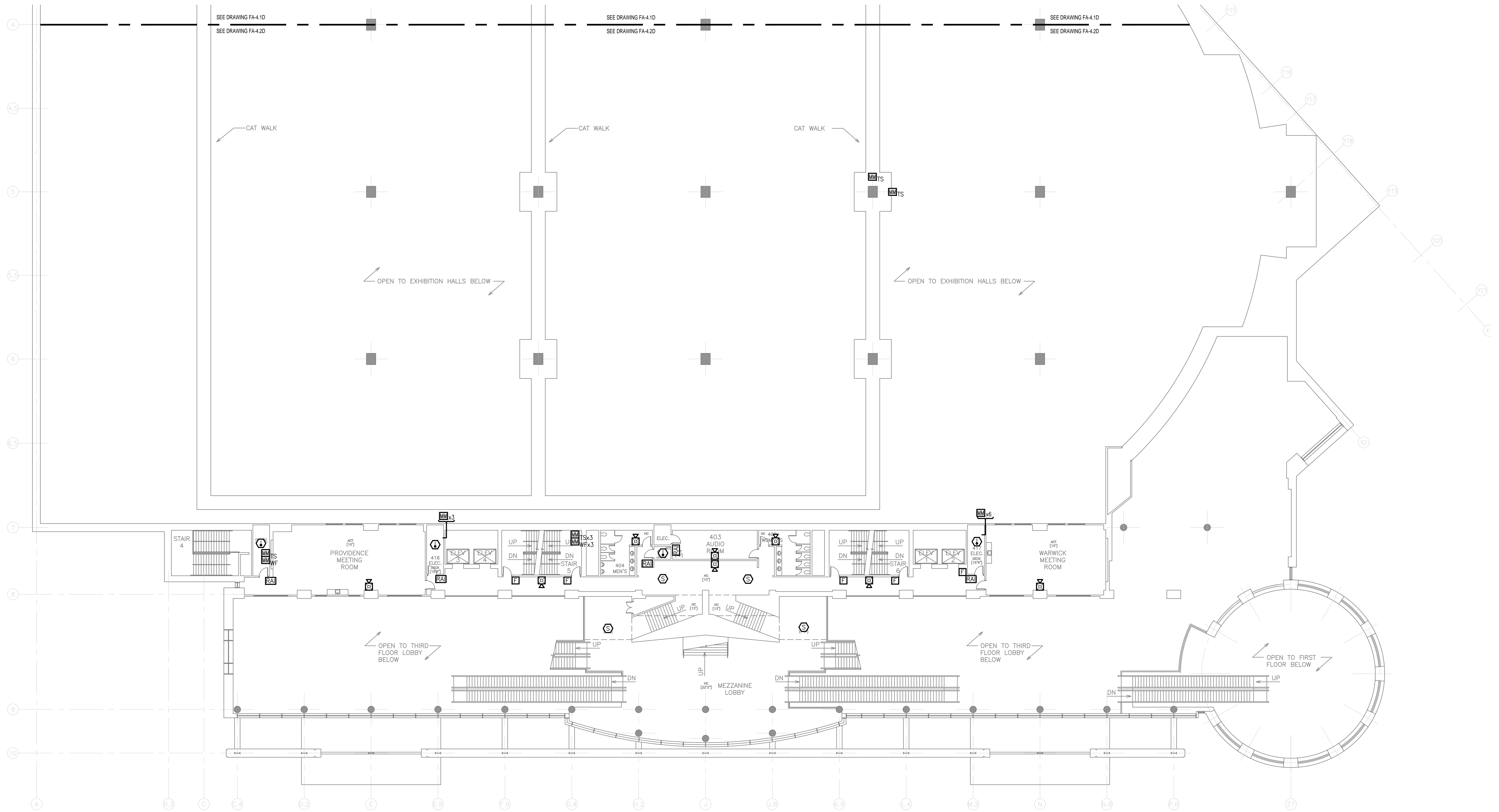
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SCALE  
  
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**FOURTH FLOOR NORTH  
 FIRE ALARM  
 DEMOLITION PLAN**

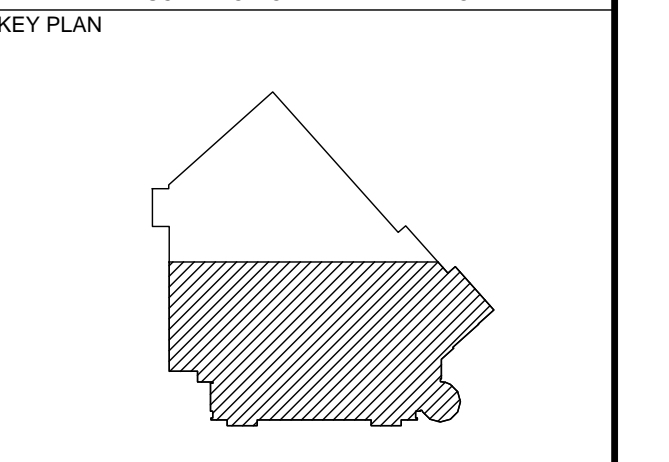
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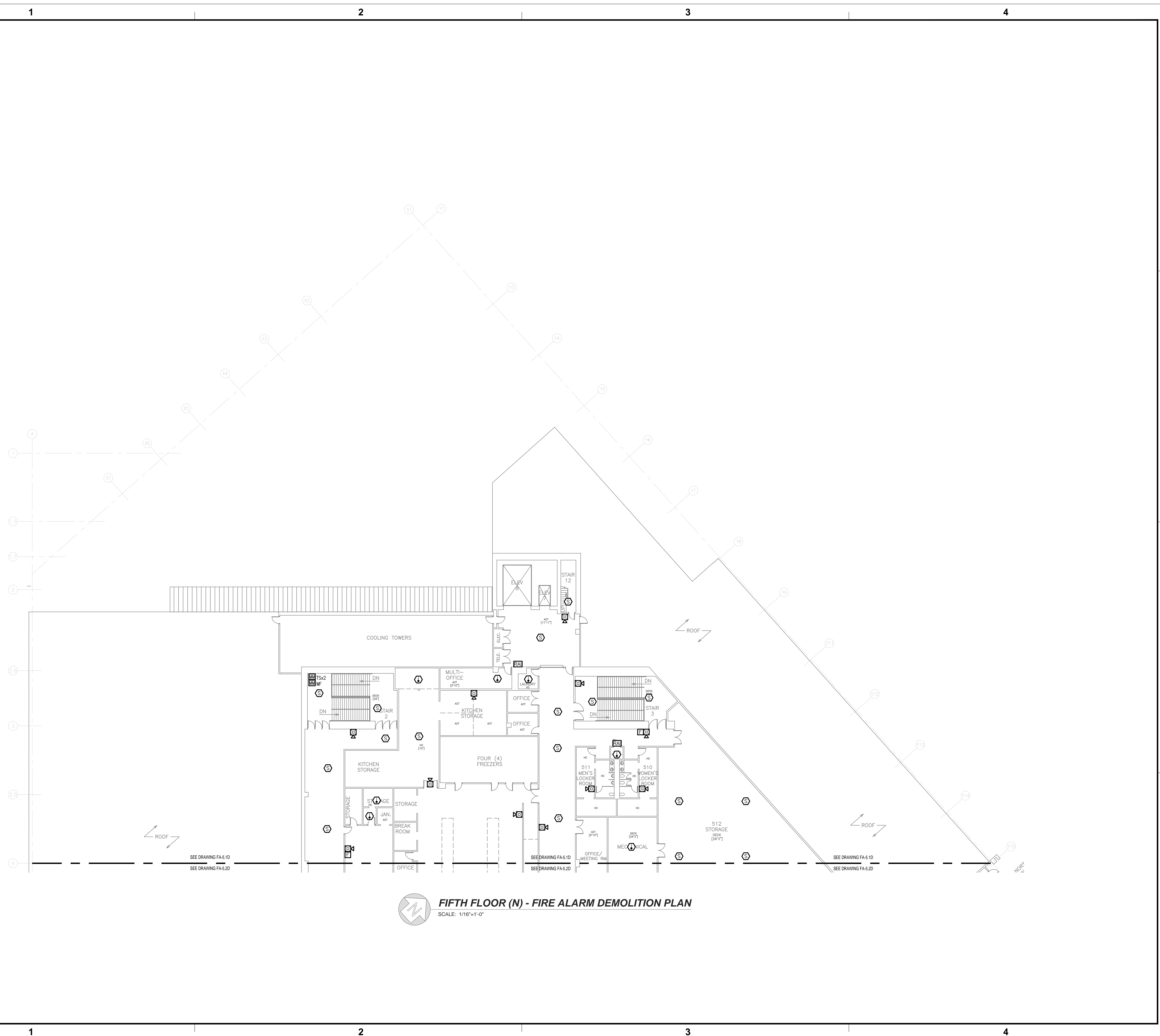
**FOURTH FLOOR (S) - FIRE ALARM PLAN**  
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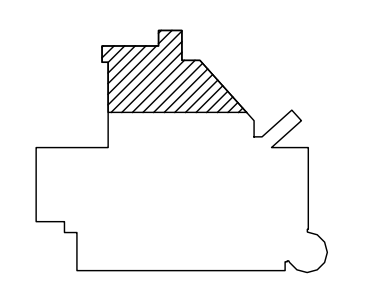
PROJECT	RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT
ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903
PROJECT NO.	1EMC00116.000
DATE	MAY 31, 2023
DESIGN	EBJ
DRAWN BY	EBJ
CHECKED BY	EMC   PSM
SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	FOURTH FLOOR NORTH FIRE ALARM DEMOLITION PLAN
NUMBER	FA-4.2D
SHEET	14 OF 29



**FIFTH FLOOR (N) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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ADDRESS  
 1 SABIN STREET  
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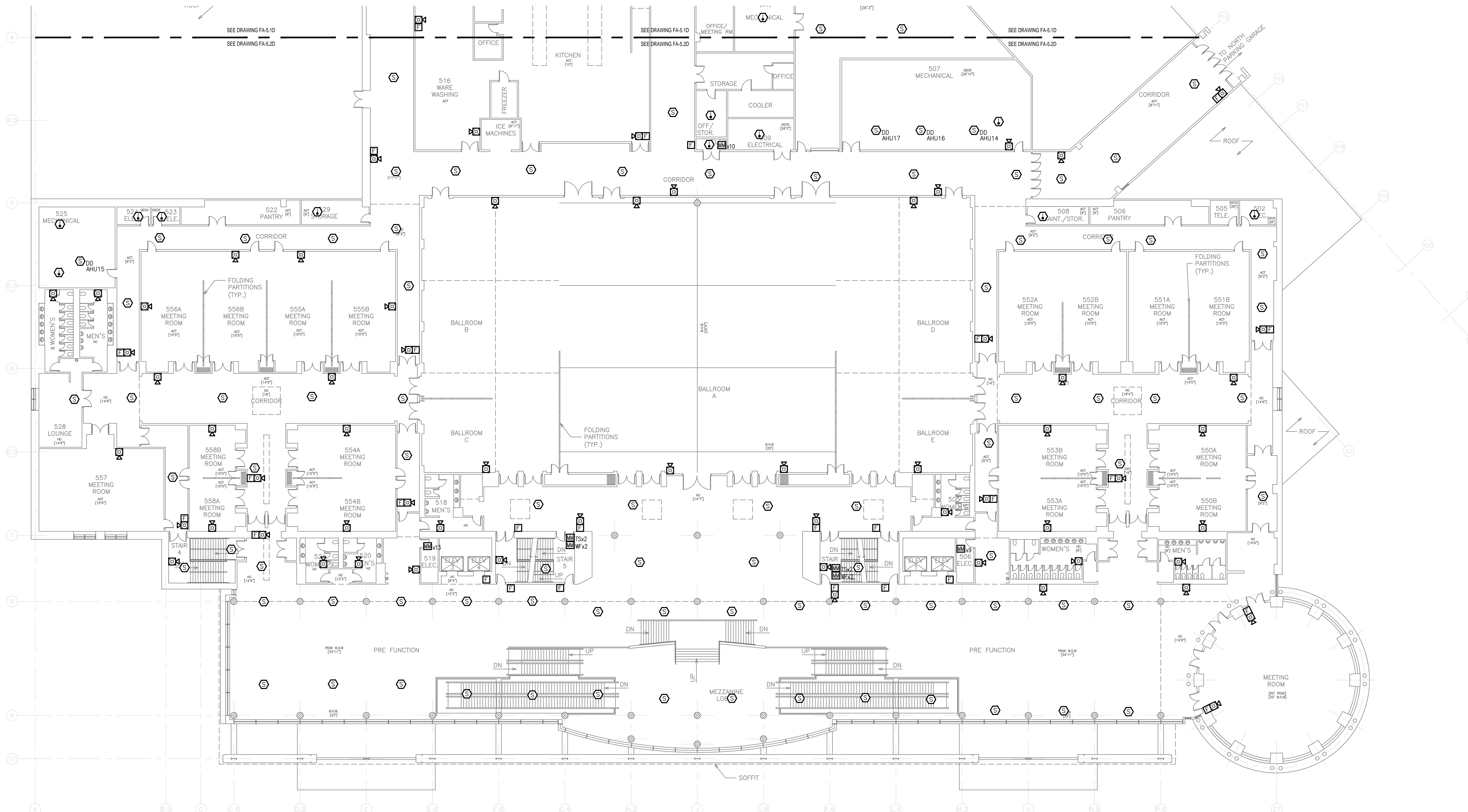
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NUMBER  
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SHEET  
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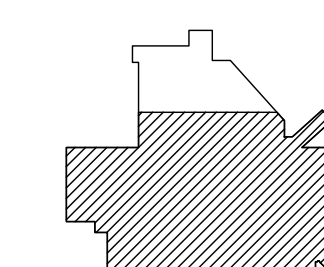




**FIFTH FLOOR (S) - FIRE ALARM DEMOLITION PLAN**  
 SCALE: 1/16"=1'-0"

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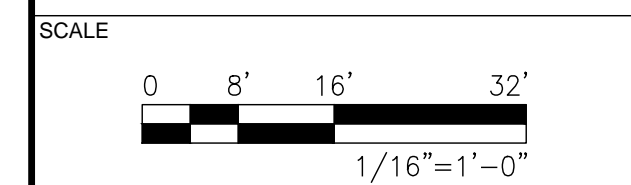
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TITLE  
**FIFTH FLOOR SOUTH FIRE ALARM DEMOLITION PLAN**

NUMBER  
**FA-5.2D**

SHEET  
 16 OF 29

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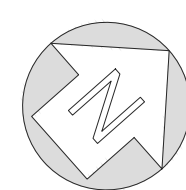
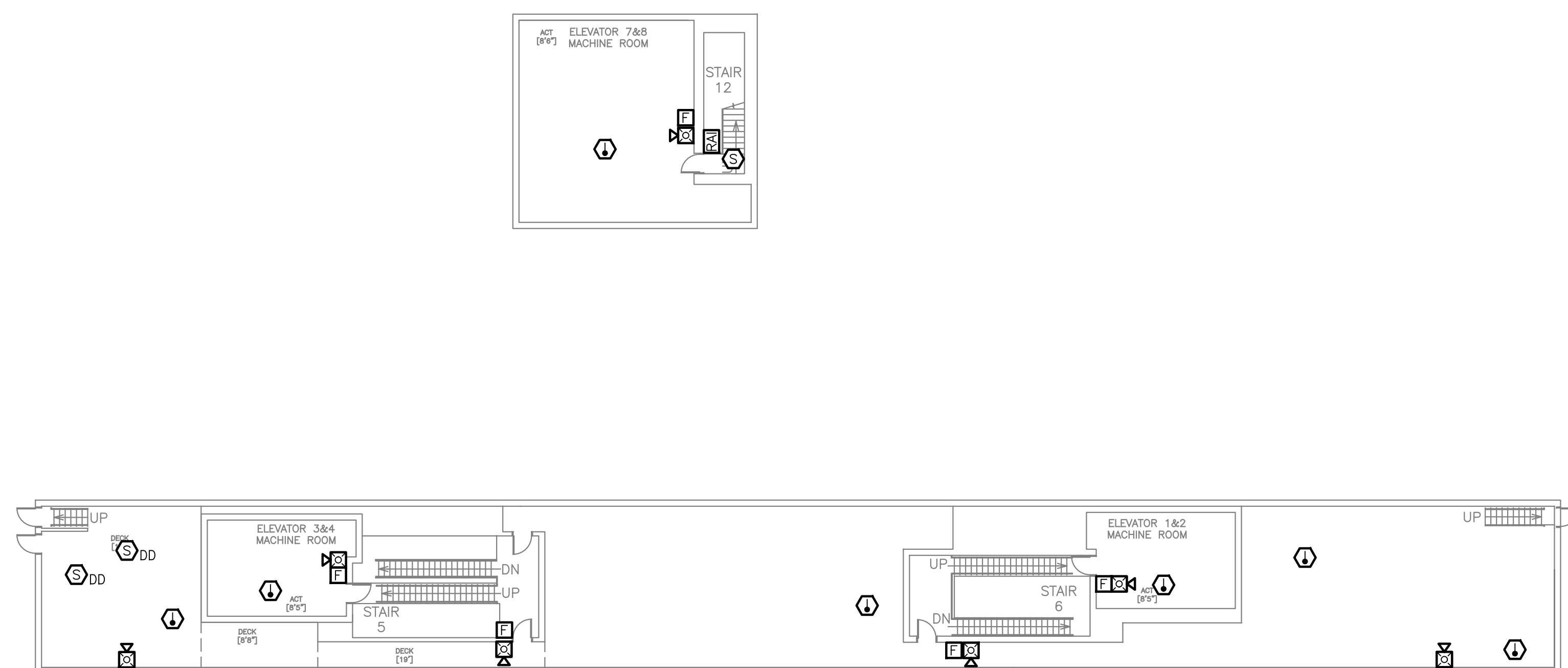
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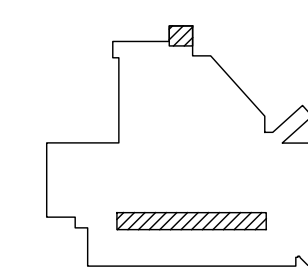
**PENTHOUSE LEVEL - FIRE ALARM DEMOLITION PLAN**

SCALE: 1/16"=1'-0"

SEAL

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

KEY PLAN



NO.	REVISION	DATE

PROJECT  
 RHODE ISLAND CONVENTION CENTER  
 FIRE ALARM SYSTEM REPLACEMENT

ADDRESS  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

PROJECT NO  
 1EMC00116.000

DATE  
 MAY 31, 2023

DESIGN  
 EBJ

DRAWN BY  
 EBJ

CHECKED BY  
 EMC | PSM

SCALE  
  
 1/16"=1'-0"

TITLE  
 PENTHOUSE LEVEL  
 FIRE ALARM  
 DEMOLITION PLAN

NUMBER  
 FAD-P.1

SHEET  
 17 OF 29

1

2

3

4

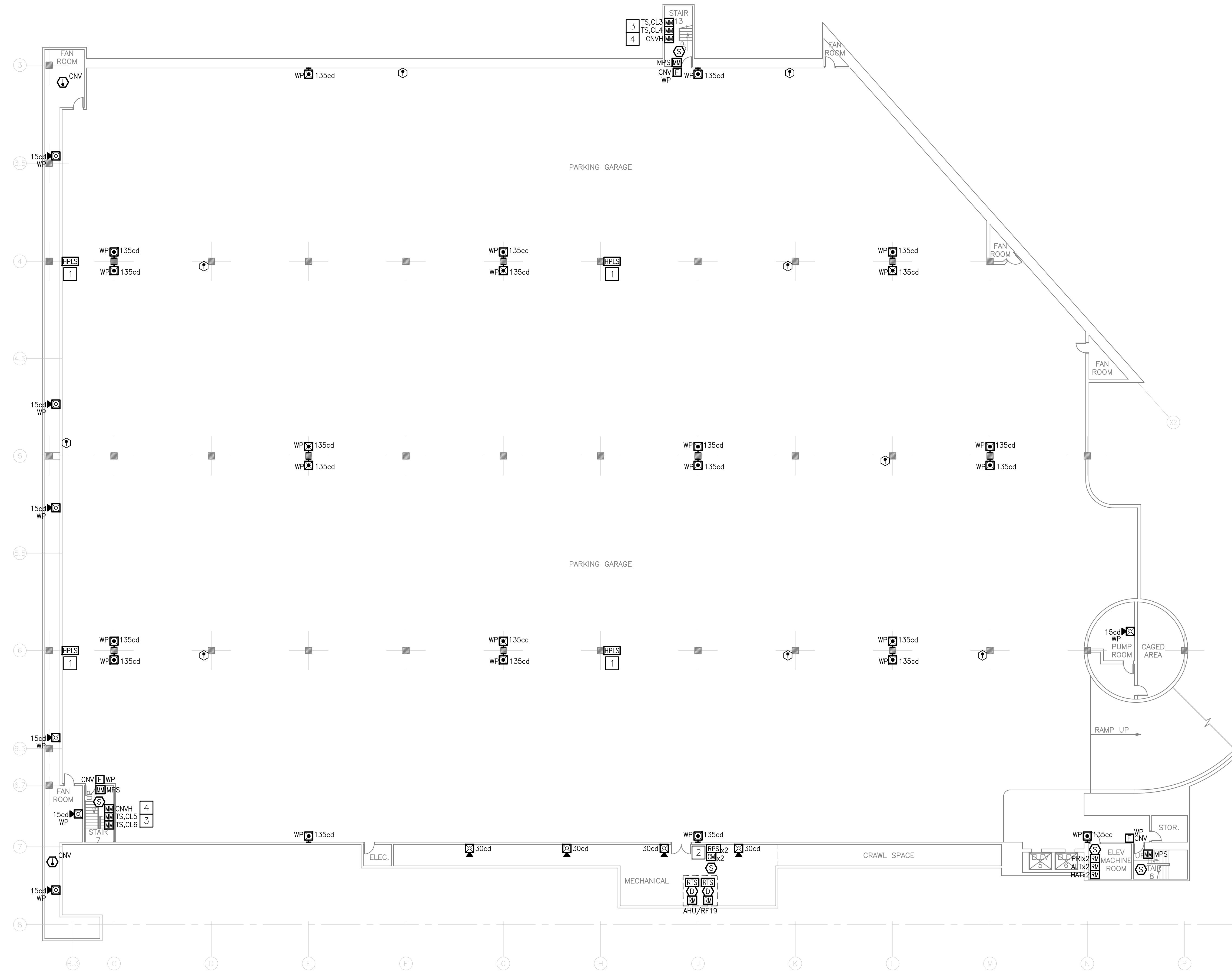


**BASEMENT KEYNOTES**

- 1. PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 81.6 WATTS AT 70V RMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 7'2" ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 1" FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 2. PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES B.1 AND B.2.
- 3. MONITOR MODULES TO SUPERVISE THE SPRINKLER SYSTEM VALVE SUPERVISORY SWITCHES LOCATED ALONG THE COLUMN LINE (CL) INDICATED BY THE ASSOCIATED SUBSCRIPT.
- 4. MONITOR MODULE TO SUPERVISE THE CONVENTIONAL HEAT DETECTOR LOCATED IN THE UNCONDITIONED FAN ROOM. SPRINKLER PROTECTION IS NOT PROVIDED IN THE PORTION OF THE FAN ROOM WHERE THE HEAT DETECTOR IS SHOWN.

**SHEET NOTES**

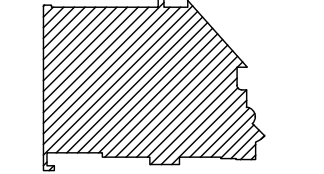
- 1. THE LOCATION OF THE DUCT SMOKE DETECTORS (RF & AHU) IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING DUCT SMOKE DETECTOR TO BE REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A NEW HOUSING AND SAMPLING TUBES ARE REQUIRED, OR IF THE EXISTING CAN BE REUSED AND IS COMPATIBLE WITH THE NEW EQUIPMENT. REMOTE TEST SWITCHES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY THE OWNER. EXACT INTERFACE LOCATION OF THE RELAY MODULES TO FACILITATE UNIT SHUTDOWN ON GENERAL ALARM AND ON ASSOCIATED DUCT SMOKE DETECTOR ACTIVATION IS TO BE DETERMINED BY THE INSTALLING CONTRACTOR.
- 2. THE AUDIO AMPLIFIERS FOR THE SPEAKER NOTIFICATION APPLIANCES ON THE BASEMENT LEVEL ARE PROPOSED TO BE INSTALLED ON THE 1ST FLOOR.



**BASEMENT LEVEL - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

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KEY PLAN



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PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
1 SABIN STREET  
PROVIDENCE, RI 02903

PROJECT NO  
1EMC00116.000

DATE  
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DESIGN  
EBJ

DRAWN BY  
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EMC | PSM

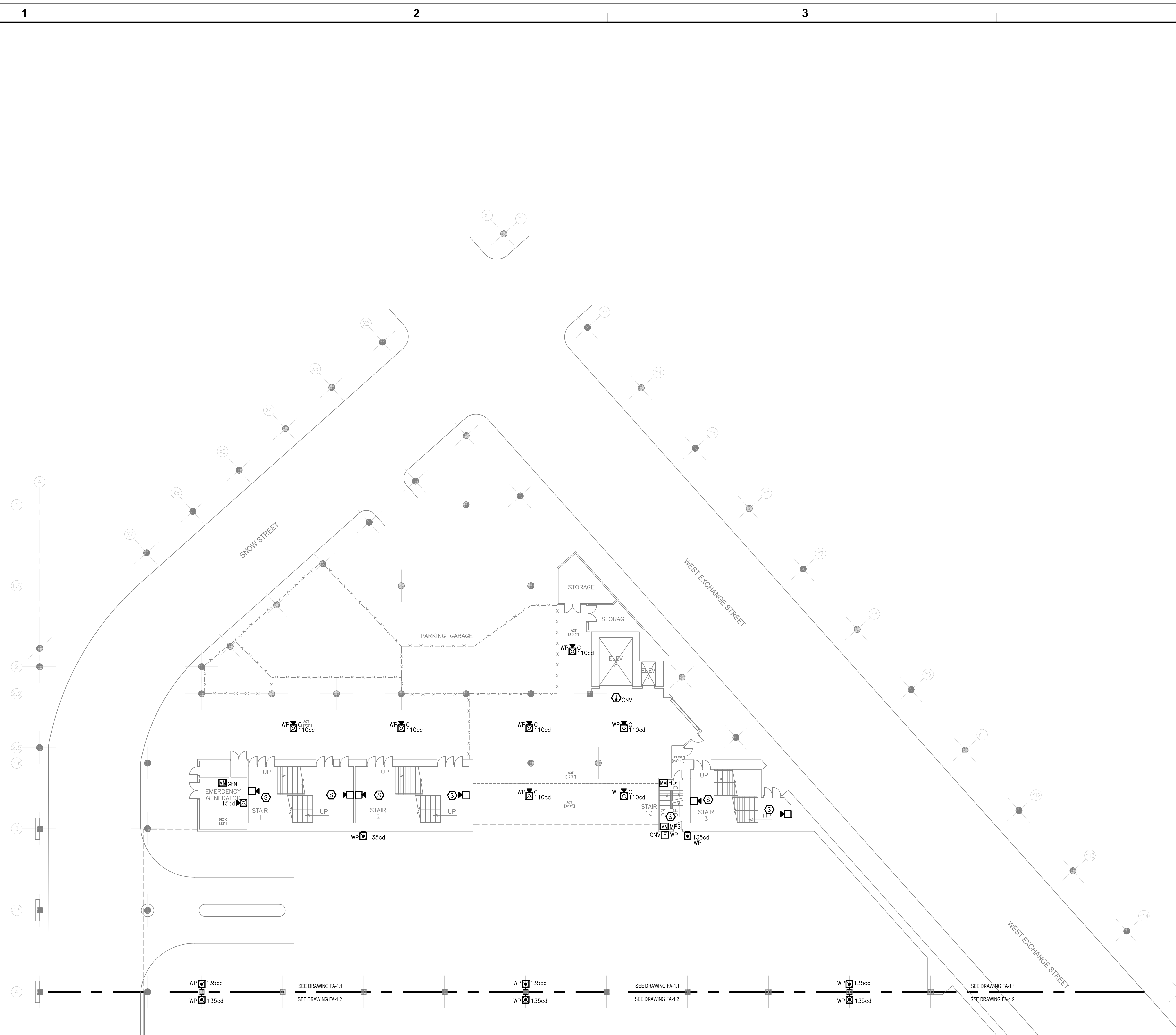
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1/16"=1'-0"

TITLE  
**BASEMENT LEVEL FIRE ALARM PLAN**

NUMBER  
**FA-B.1**

SHEET  
18 OF 29





**FIRST FLOOR (N) - FIRE ALARM PLAN**  
 SCALE: 1/16"=1'-0"

D

C

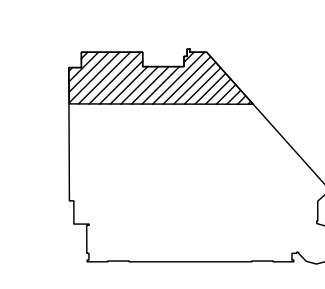
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SEAL

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KEY PLAN



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PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

PROJECT NO  
 1EMC00116.000

DATE  
 MAY 31, 2023

DESIGN  
 EBJ

DRAWN BY  
 EBJ

CHECKED BY  
 EMC | PSM

SCALE  
  
 1/16"=1'-0"

TITLE  
**FIRST FLOOR NORTH FIRE ALARM INSTALLATION PLAN**

NUMBER  
**FA-1.1**

SHEET  
 19 OF 29



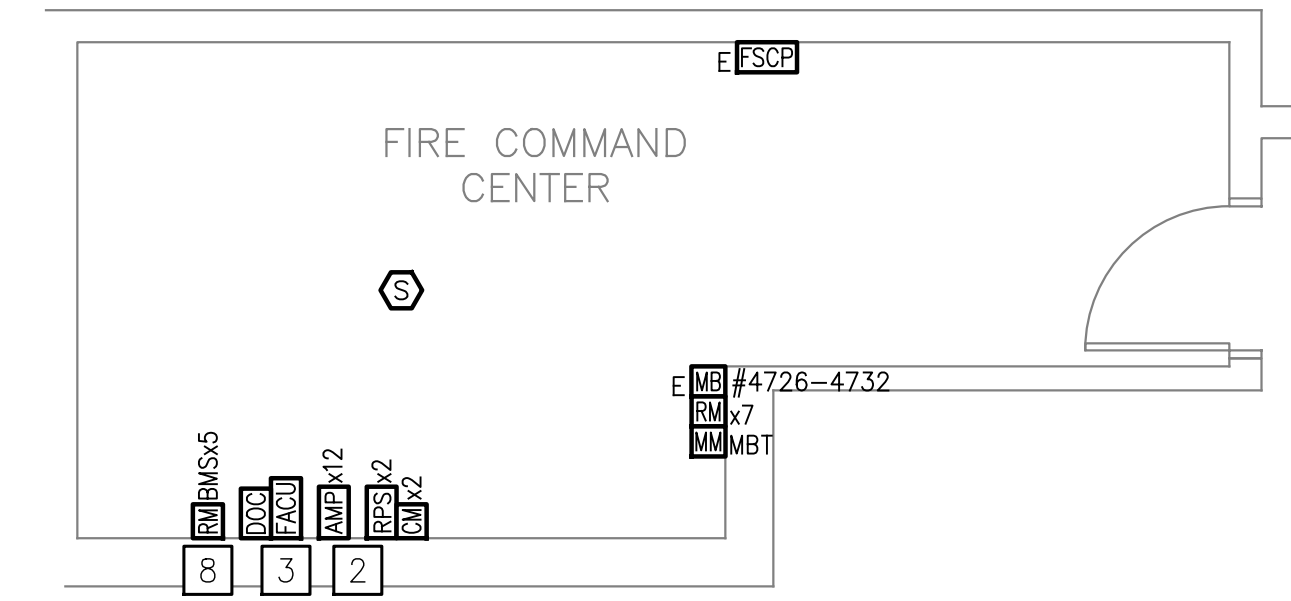
**1ST FLOOR KEYNOTES**

- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE SIX (6) PRIMARY AUDIO AMPLIFIERS (B.3, B.4, 1.4, 1.5, 1.6 AND S.4S), AND SIX (6) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 1.3.
- 2 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE SIX (6) PRIMARY AUDIO AMPLIFIERS (B.1, B.2, 1.1, 1.2, 1.3 AND S.6), AND SIX (6) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 1.1 AND 1.2.
- 3 PROPOSED FIRE ALARM CONTROL UNIT TO SERVE THE SIGNALING LINE CIRCUIT DEVICES LOCATED ON THE BASEMENT AND 1ST FLOOR.
- 4 PROVIDE HYPERSPIKE MODEL 90243-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 81.6 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 7' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 11° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH ITS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 5 PROVIDE HYPERSPIKE MODEL 90243-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 46.2 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 11' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 7° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH ITS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 6 PROVIDE SAME SPEAKER, TRANSFORMER AND MOUNTING CRITERIA AS OUTLINED BY KEYNOTE #5, HOWEVER ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS APPROXIMATELY 10° FROM SQUARE TOWARDS THE PLAN RIGHT DIRECTION. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.

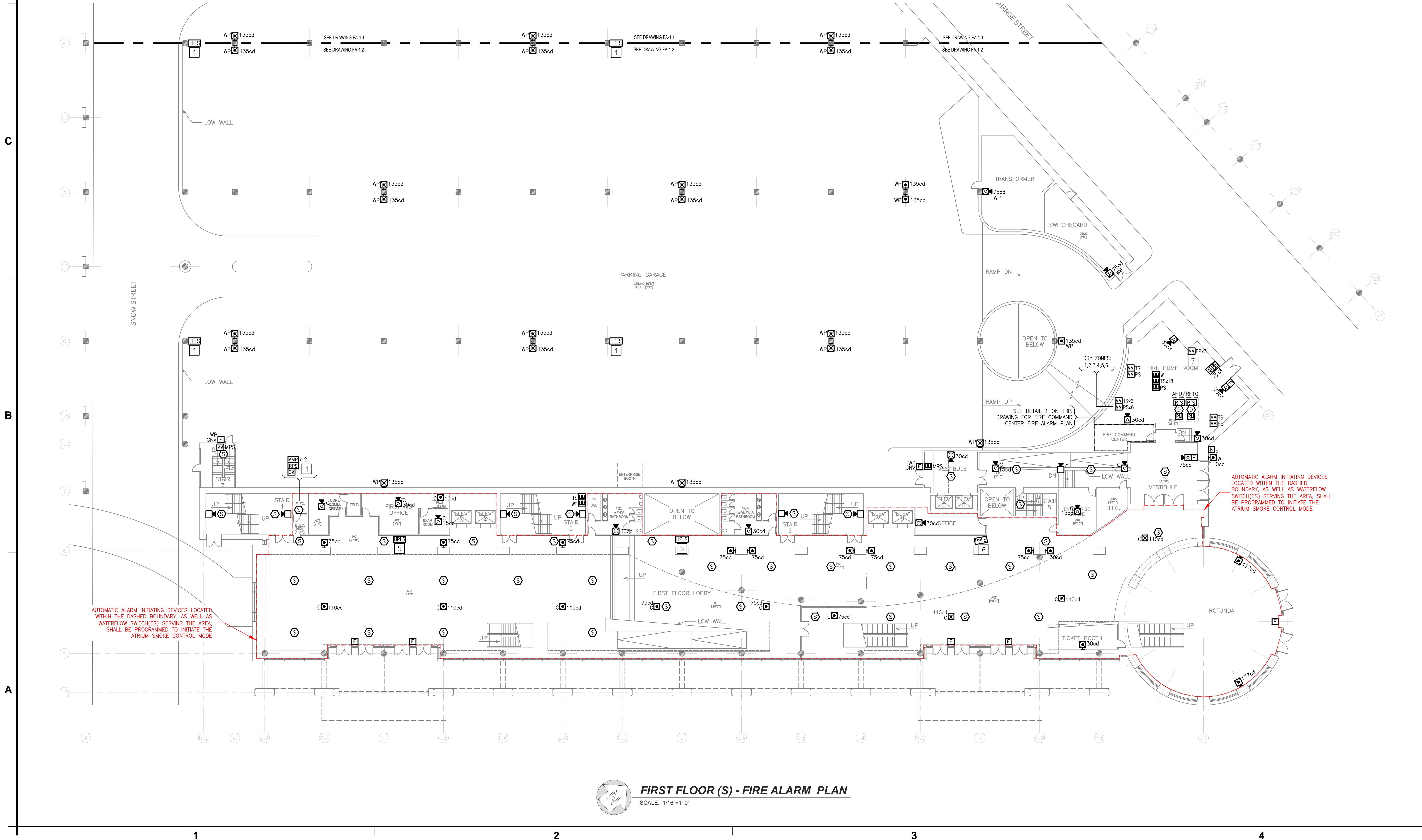
**SHEET NOTES**

- 7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INTERFACING THE EXISTING FIRE PUMP CONTROLLER TO THE NEW FIRE ALARM SYSTEM. THREE (3) ADDRESSABLE MONITOR MODULES SHALL BE PROVIDED TO SUPERVISE THE CONTROLLER FOR THE FOLLOWING CONDITIONS:
  1. FIRE PUMP RUNNING
  2. FIRE PUMP CONTROLLER TROUBLE CONDITION
  3. FIRE PUMP CONTROLLER MAIN SWITCH TURNED TO OFF OR MANUAL POSITION
- 8 PROVIDE A TOTAL OF FIVE (5) RELAY MODULES TO PROVIDE SIGNALS IN TO THE EXISTING LANDIS & GYR BUILDING MANAGEMENT SYSTEM (BMS) CONTROL CABINET (#00611300 - DPU-4) LOCATED IN THE FIRE COMMAND CENTER. RELAY OUTPUTS SHALL BE PROVIDED FOR THE FOLLOWING:
  1. EXHIBIT HALL SMOKE CONTROL MODE ACTIVATION SIGNAL
  2. ATRIUM SMOKE CONTROL MODE ACTIVATION SIGNAL
  3. BALLROOM/KITCHEN AREA SMOKE CONTROL MODE ACTIVATION SIGNAL
  4. LOADING DOCK SMOKE CONTROL MODE ACTIVATION SIGNAL
  5. GENERAL ALARM (STAIR PRESSURIZATION) SMOKE CONTROL MODE ACTIVATION SIGNAL
 RELAY MODULES FOR BMS INTERFACE SHALL BE COMPLETELY ISOLATED FROM THE REMAINDER OF THE SLC.

1. THE LOCATION OF THE DUCT SMOKE DETECTORS (RF & AHU) IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING DUCT SMOKE DETECTOR TO BE REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A NEW HOUSING AND SAMPLING TUBES ARE REQUIRED, OR IF THE EXISTING CAN BE REUSED AND IS COMPATIBLE WITH THE NEW EQUIPMENT. REMOTE TEST SWITCHES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY THE OWNER. EXACT INTERFACE LOCATION OF THE RELAY MODULES TO FACILITATE UNIT SHUTDOWN ON GENERAL ALARM AND ON ASSOCIATED DUCT SMOKE DETECTOR ACTIVATION IS TO BE DETERMINED BY THE INSTALLING CONTRACTOR.

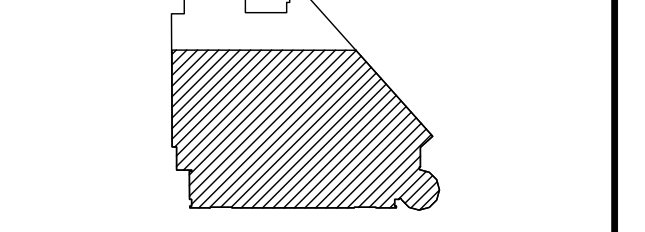


**1 FIRE COMMAND CENTER - FIRE ALARM PLAN**  
SCALE: 1/8"=1'-0"



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KEY PLAN



NO.	REVISION	DATE

PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
1 SABIN STREET  
PROVIDENCE, RI 02903

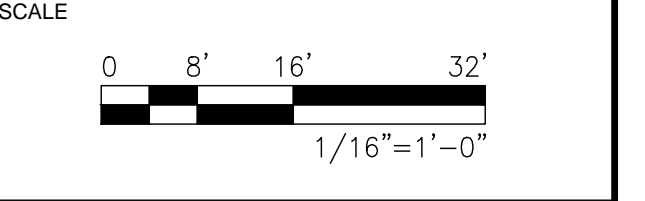
PROJECT NO  
1EMC00116.000

DATE  
MAY 31, 2023

DESIGN  
EBJ

DRAWN BY  
EBJ

CHECKED BY  
EMC | PSM



TITLE  
**FIRST FLOOR SOUTH FIRE ALARM INSTALLATION PLAN**

NUMBER  
**FA-1.2**

SHEET  
20 OF 29

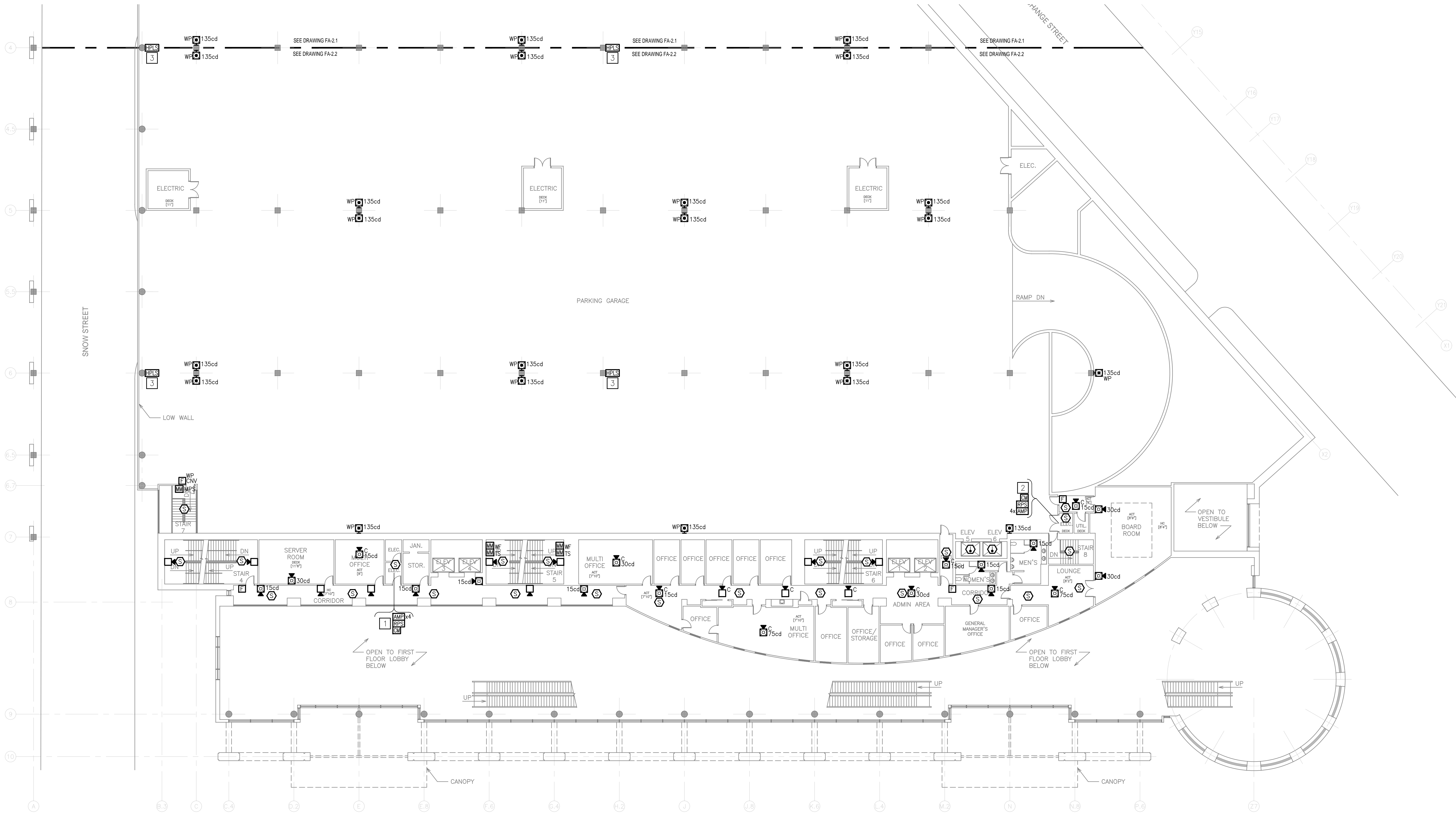
**FIRST FLOOR (S) - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"





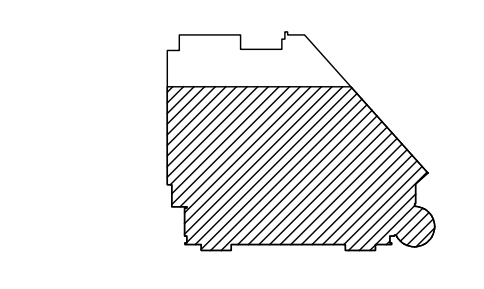
**2ND FLOOR KEYNOTES**

- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (2.3 AND 2.4), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 2.2.
- 2 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (2.1 AND 2.2), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 2.1.
- 3 PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 81.6 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 6.25' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 1° FROM LEVEL. AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 7254B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.



**SECOND FLOOR (S) - FIRE ALARM PLAN**  
 SCALE: 1/16"=1'-0"

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NO.	REVISION	DATE

PROJECT	RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT
ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903
PROJECT NO.	1EMC00116.000
DATE	MAY 31, 2023
DESIGN	EBJ
DRAWN BY	EBJ
CHECKED BY	EMC   PSM
SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	SECOND FLOOR SOUTH FIRE ALARM INSTALLATION PLAN
NUMBER	FA-2.2
SHEET	22 OF 29

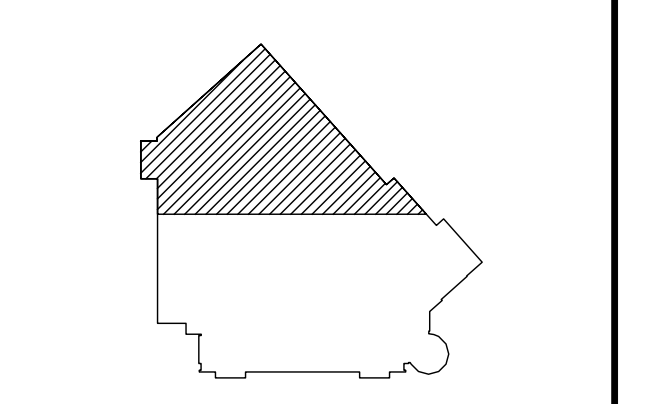


**3RD FLOOR KEYNOTES**

- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (3.3 AND 3.4), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 3.3.
- 2 PROPOSED FIRE ALARM NODE PANEL TO SERVE THE SIGNALING LINE CIRCUIT DEVICES ON THE 2ND AND 3RD FLOORS.
- 3 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (3.1 AND 3.2), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 3.1 AND 3.2.
- 4 PROVIDE HYPERSPIKE MODEL TCPA-10 SINGLE COIL LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 24 WATTS AT 70V RMS. THE SPEAKER SHALL BE MOUNTED WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 15' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 25° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. THE TRANSFORMER IS BUILT IN TO THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 5 PROVIDE SAME SPEAKER, TRANSFORMER AND MOUNTING CRITERIA AS OUTLINED BY KEYNOTE #4. HOWEVER ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS APPROXIMATELY 22° FROM SQUARE TOWARDS THE PLAN RIGHT DIRECTION. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 6 PROVIDE HYPERSPIKE M MODEL #02A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 48.2 WATTS AT 70V RMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 11' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 7° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.

- 7 CONTRACTOR TO INSTALL BEAM SMOKE DETECTOR REMOTE TEST/RESET SWITCH IN AN ACCESSIBLE LOCATION. REMOTE TEST/RESET SWITCH REQUIRES 24VDC NON-RESETTABLE POWER. CONTRACTOR SHALL PROVIDE TWO (2) ADDRESSABLE MONITOR MODULES FOR EACH OSD IMAGER TO SUPERVISE ALARM AND TROUBLEFAULT CONDITIONS.
- 8 OSD BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10° FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2.5 TO 4 FEET (80CM TO 120CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 9 OSD BEAM SMOKE DETECTOR EMITTER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. EMITTER SHALL BE ASSIGNED AND POSITIONED IN COORDINATE WITH ITS RESPECTIVE IMAGER.
- 10 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE THREE (3) PRIMARY AUDIO AMPLIFIERS (3.5, 3.6 AND 3.1), AND THREE (3) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 3.4.
- 11 THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) RELAY MODULES FOR LIGHTING CONTROL INTERFACES ON THIS FLOOR, WHICH SHALL BE CONFIGURED TO BRING HOUSE LIGHTING TO FULL BRIGHT UPON RECEIPT OF AN ALARM CONDITION. THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) RELAY MODULES FOR AUDIO EQUIPMENT INTERFACES ON THIS FLOOR, WHICH SHALL TURN OFF ALL HOUSE AUDIO EQUIPMENT UPON RECEIPT OF AN ALARM CONDITION. THE EXACT LOCATION OF THESE MODULES SHALL BE COORDINATED WITH THE OWNER.

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PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
 1 SABIN STREET  
 PROVIDENCE, RI 02903

PROJECT NO  
 1EMC00116.000

DATE  
 MAY 31, 2023

DESIGN  
 EBJ

DRAWN BY  
 EBJ

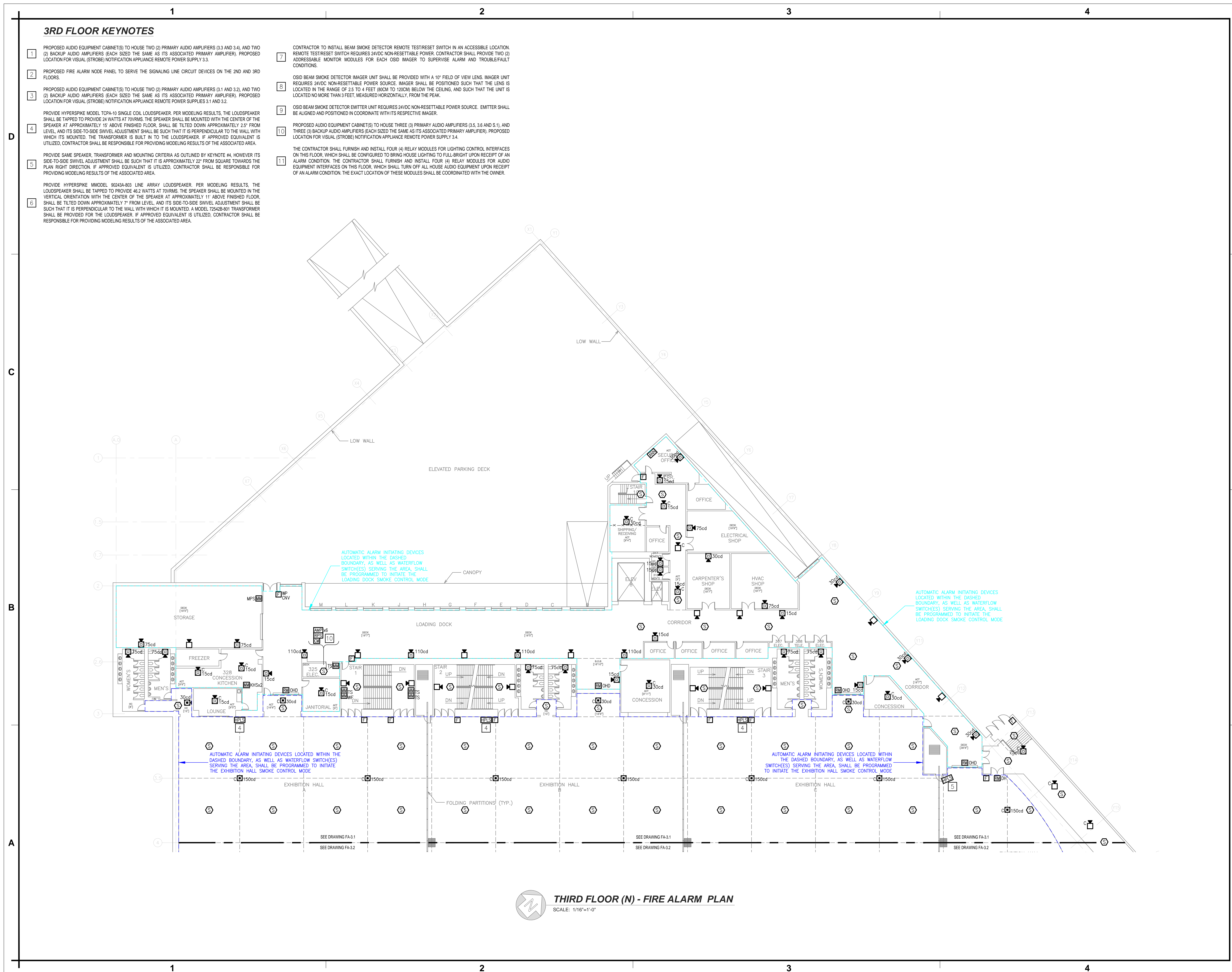
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 EMC | PSM

SCALE

TITLE  
**THIRD FLOOR NORTH FIRE ALARM INSTALLATION PLAN**

NUMBER  
**FA-3.1**

SHEET  
 23 OF 29



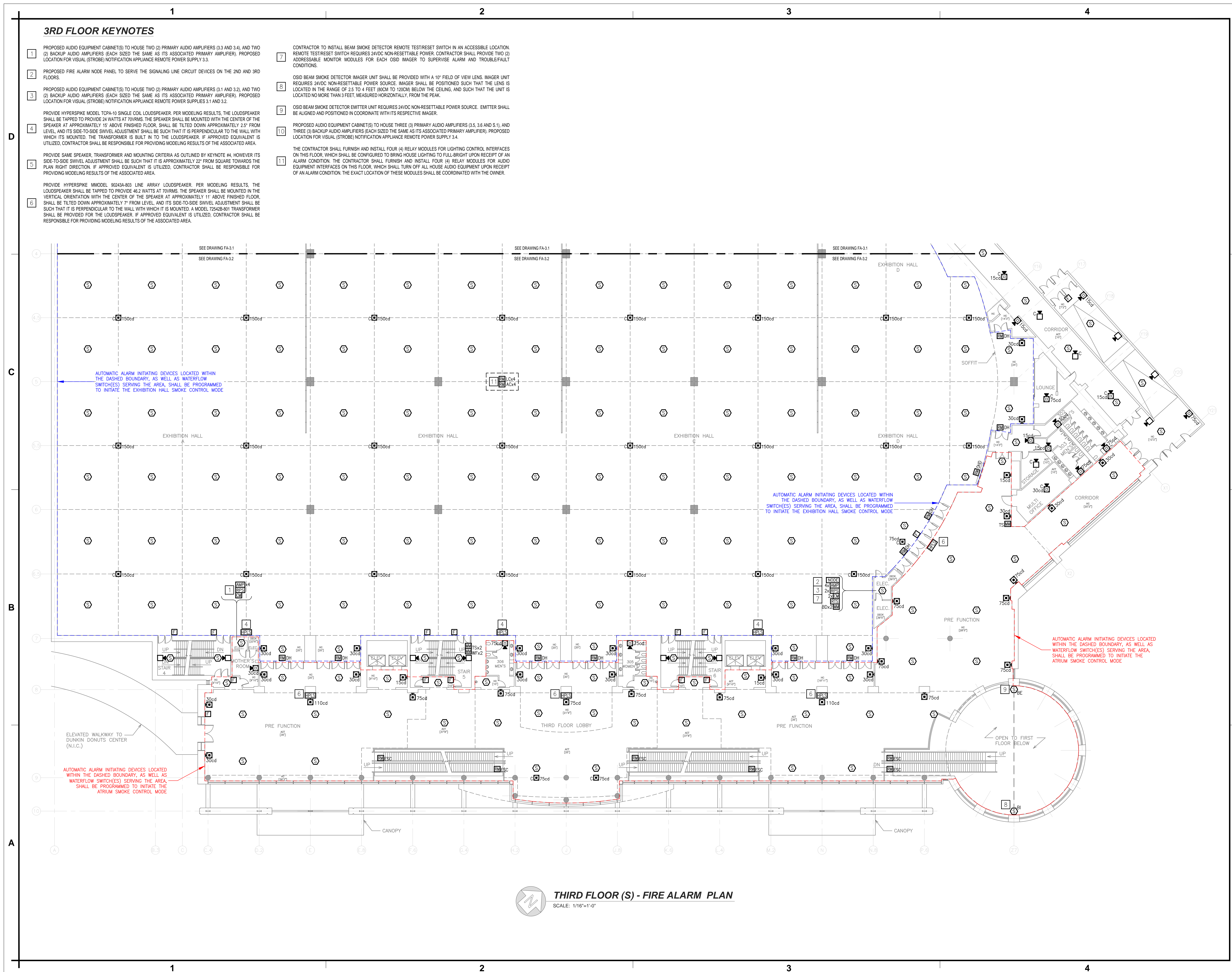
**THIRD FLOOR (N) - FIRE ALARM PLAN**  
 SCALE: 1/16"=1'-0"



**3RD FLOOR KEYNOTES**

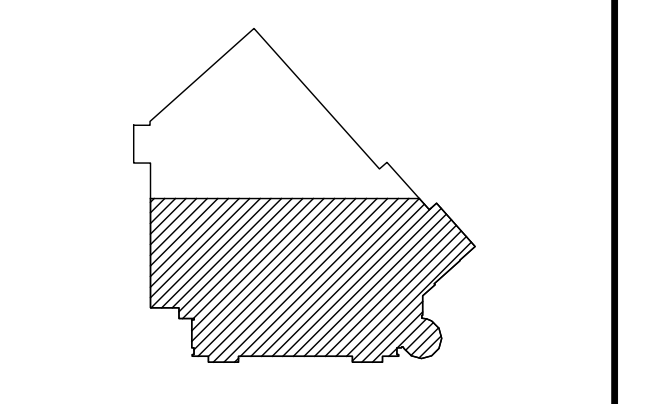
- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (3.3 AND 3.4), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER), PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 3.3.
- 2 PROPOSED FIRE ALARM NODE PANEL TO SERVE THE SIGNALING LINE CIRCUIT DEVICES ON THE 2ND AND 3RD FLOORS.
- 3 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE TWO (2) PRIMARY AUDIO AMPLIFIERS (3.1 AND 3.2), AND TWO (2) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER), PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 3.1 AND 3.2.
- 4 PROVIDE HYPERSPIKE MODEL TCPA-10 SINGLE COIL LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 24 WATTS AT 70V RMS. THE SPEAKER SHALL BE MOUNTED WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 15' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 2.5' FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. THE TRANSFORMER IS BUILT IN TO THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 5 PROVIDE SAME SPEAKER, TRANSFORMER AND MOUNTING CRITERIA AS OUTLINED BY KEYNOTE #4. HOWEVER ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS APPROXIMATELY 22' FROM SQUARE TOWARDS THE PLAN RIGHT DIRECTION. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 6 PROVIDE HYPERSPIKE MODEL 8024A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 48.2 WATTS AT 70V RMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 11' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 7' FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.

- 7 CONTRACTOR TO INSTALL BEAM SMOKE DETECTOR REMOTE TEST/RESET SWITCH IN AN ACCESSIBLE LOCATION. REMOTE TEST/RESET SWITCH REQUIRES 24VDC NON-RESETTABLE POWER. CONTRACTOR SHALL PROVIDE TWO (2) ADDRESSABLE MONITOR MODULES FOR EACH OSD IMAGER TO SUPERVISE ALARM AND TROUBLEFAULT CONDITIONS.
- 8 OSD BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10' FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2.5 TO 4 FEET (80CM TO 120CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 9 OSD BEAM SMOKE DETECTOR EMITTER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. EMITTER SHALL BE ASSIGNED AND POSITIONED IN COORDINATE WITH ITS RESPECTIVE IMAGER.
- 10 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE THREE (3) PRIMARY AUDIO AMPLIFIERS (3.5, 3.6 AND S.1), AND THREE (3) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER), PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 3.4.
- 11 THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) RELAY MODULES FOR LIGHTING CONTROL INTERFACES ON THIS FLOOR, WHICH SHALL BE CONFIGURED TO BRING HOUSE LIGHTING TO FULL BRIGHT UPON RECEIPT OF AN ALARM CONDITION. THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) RELAY MODULES FOR AUDIO EQUIPMENT INTERFACES ON THIS FLOOR, WHICH SHALL TURN OFF ALL HOUSE AUDIO EQUIPMENT UPON RECEIPT OF AN ALARM CONDITION. THE EXACT LOCATION OF THESE MODULES SHALL BE COORDINATED WITH THE OWNER.



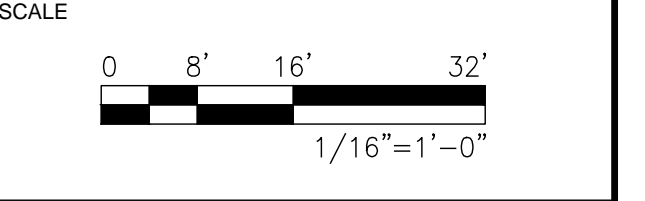
**THIRD FLOOR (S) - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



NO.	REVISION	DATE

PROJECT: **RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**  
ADDRESS: 1 SABIN STREET PROVIDENCE, RI 02903  
PROJECT NO: 1EMC00116.000  
DATE: MAY 31, 2023  
DESIGN: EBJ  
DRAWN BY: EBJ  
CHECKED BY: EMC | PSM



TITLE: **THIRD FLOOR SOUTH FIRE ALARM INSTALLATION PLAN**  
NUMBER: **FA-3.2**  
SHEET: 24 OF 29

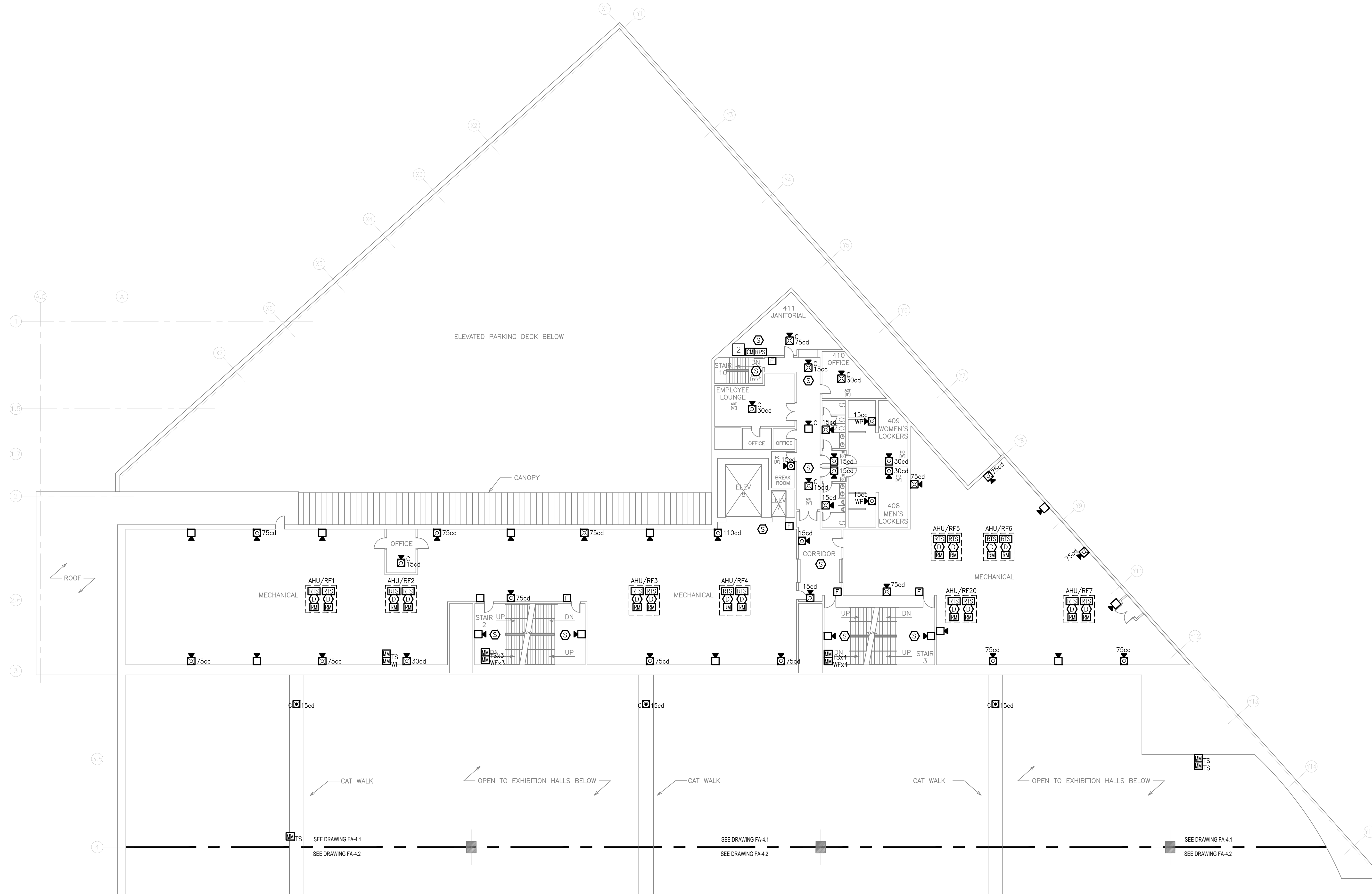


**4TH FLOOR KEYNOTES**

- 1 PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 4.1.
- 2 PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 4.2.

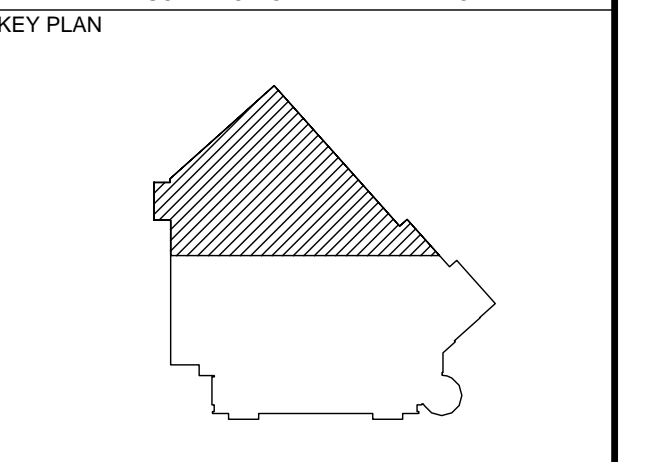
**SHEET NOTES**

- 1. THE LOCATION OF THE DUCT SMOKE DETECTORS (RF & AHU) IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING DUCT SMOKE DETECTOR TO BE REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A NEW HOUSING AND SAMPLING TUBES ARE REQUIRED, OR IF THE EXISTING CAN BE REUSED AND IS COMPATIBLE WITH THE NEW EQUIPMENT. REMOTE TEST SWITCHES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY THE OWNER. EXACT INTERFACE LOCATION OF THE RELAY MODULES TO FACILITATE UNIT SHUTDOWN ON GENERAL ALARM AND ON ASSOCIATED DUCT SMOKE DETECTOR ACTIVATION IS TO BE DETERMINED BY THE INSTALLING CONTRACTOR.
- 2. THE AUDIO AMPLIFIERS FOR THE SPEAKER NOTIFICATION APPLIANCES ON THE FOURTH FLOOR ARE PROPOSED TO BE INSTALLED ON THE FIFTH FLOOR.



**FOURTH FLOOR (N) - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

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NO.	REVISION	DATE

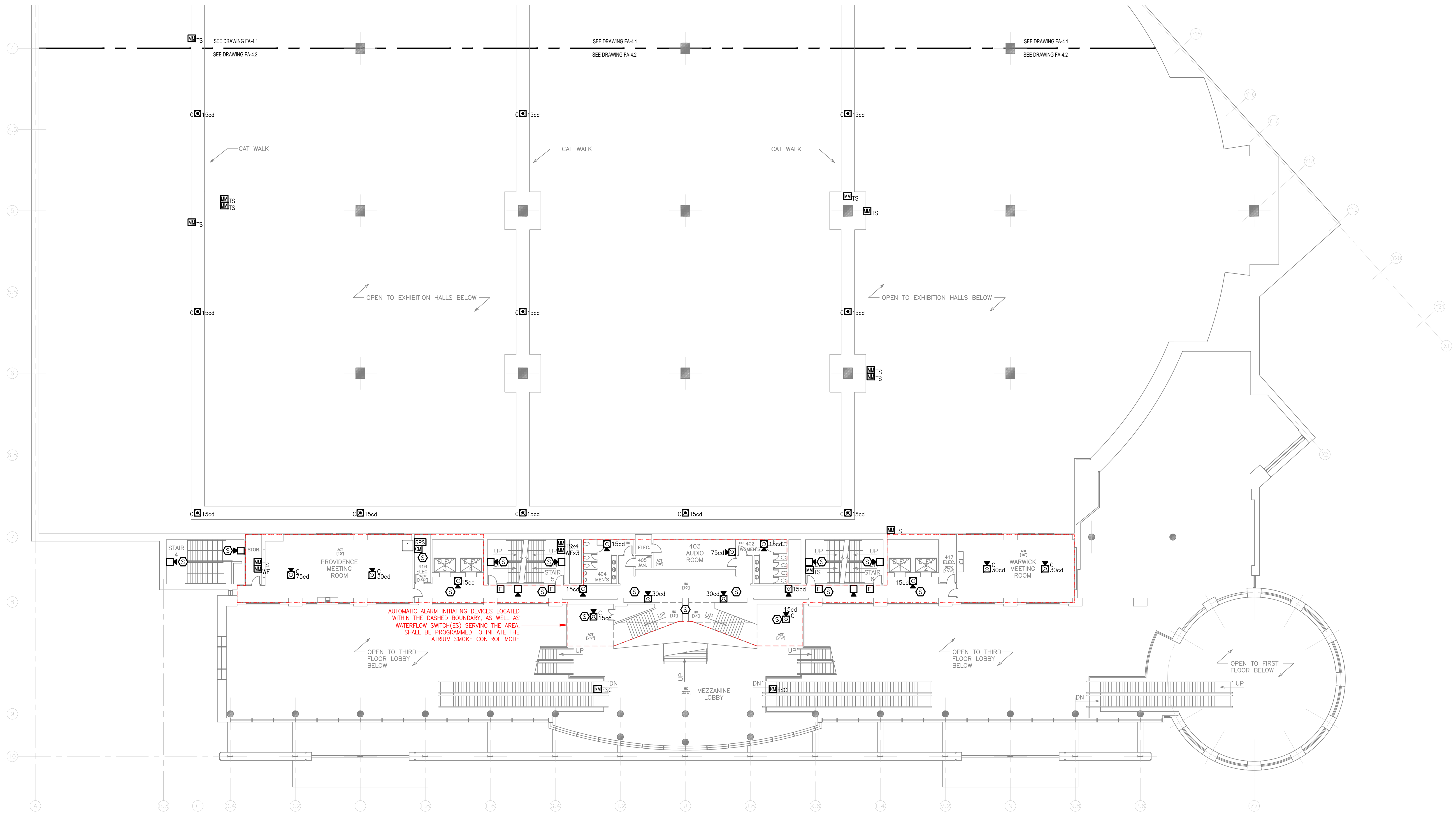
PROJECT	RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT
ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903
PROJECT NO	1EMC00116.000
DATE	MAY 31, 2023
DESIGN	EBJ
DRAWN BY	EBJ
CHECKED BY	EMC   PSM
SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	FOURTH FLOOR NORTH FIRE ALARM INSTALLATION PLAN
NUMBER	FA-4.1
SHEET	25 OF 29

**4TH FLOOR KEYNOTES**

- 1 PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 4.1.
- 2 PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 4.2.

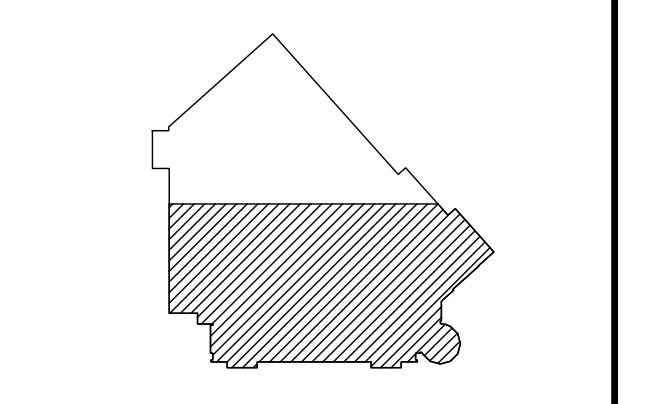
**SHEET NOTES**

- 1. THE LOCATION OF THE DUCT SMOKE DETECTORS (RF & AHJ) IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING DUCT SMOKE DETECTOR TO BE REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A NEW HOUSING AND SAMPLING TUBES ARE REQUIRED, OR IF THE EXISTING CAN BE REUSED AND IS COMPATIBLE WITH THE NEW EQUIPMENT. REMOTE TEST SWITCHES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY THE OWNER. EXACT INTERFACE LOCATION OF THE RELAY MODULES TO FACILITATE UNIT SHUTDOWN ON GENERAL ALARM AND ON ASSOCIATED DUCT SMOKE DETECTOR ACTIVATION IS TO BE DETERMINED BY THE INSTALLING CONTRACTOR.
- 2. THE AUDIO AMPLIFIERS FOR THE SPEAKER NOTIFICATION APPLIANCES ON THE FOURTH FLOOR ARE PROPOSED TO BE INSTALLED ON THE FIFTH FLOOR.



**FOURTH FLOOR (S) - FIRE ALARM PLAN**  
 SCALE: 1/16"=1'-0"

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903
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DATE	MAY 31, 2023
DESIGN	EBJ
DRAWN BY	EBJ
CHECKED BY	EMC   PSM
SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	FOURTH FLOOR NORTH FIRE ALARM INSTALLATION PLAN
NUMBER	FA-4.2
SHEET	26 OF 29

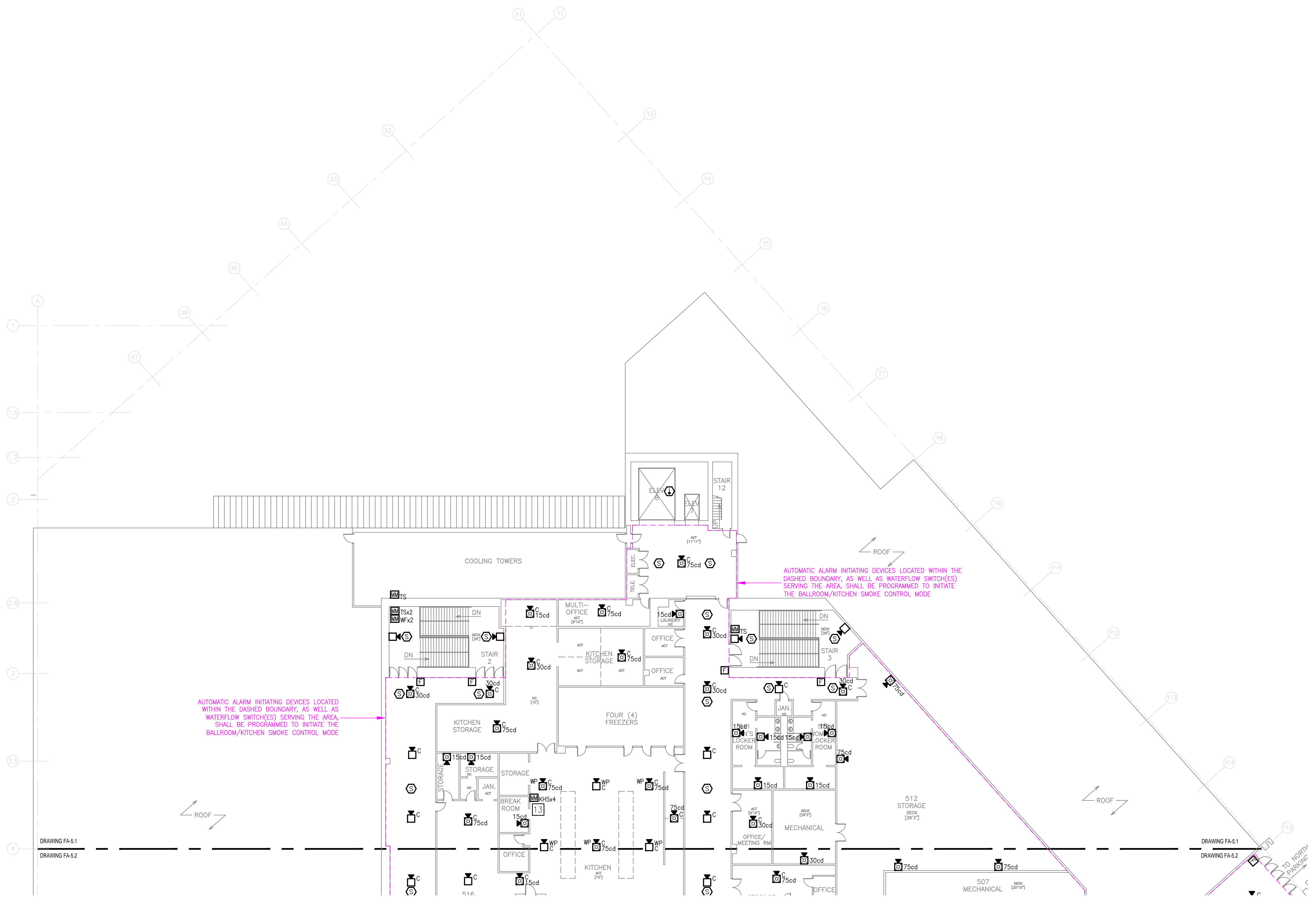


**5TH FLOOR KEYNOTES**

- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (5.3, 5.4, 5.5 AND 5.6), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 5.3 AND 5.4.
- 2 PROPOSED FIRE ALARM NODE PANEL TO SERVE THE SIGNALING LINE CIRCUIT DEVICES LOCATED ON THE 4TH FLOOR, 5TH FLOOR, AND PENTHOUSE LEVELS.
- 3 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (4.1, 5.1, 5.2 AND P.1), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 5.1 AND 5.2.
- 4 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (4.2, 5.7, 5.8 AND S.20), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 5.5.
- 5 PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 46.2 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 11' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 7° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 6 CONTRACTOR TO INSTALL BEAM SMOKE DETECTOR REMOTE TEST/RESET SWITCH IN AN ACCESSIBLE LOCATION. REMOTE TEST/RESET SWITCH REQUIRES 24VDC NON-RESETTABLE POWER. CONTRACTOR SHALL PROVIDE TWO (2) ADDRESSABLE MONITOR MODULES FOR EACH OSID IMAGER TO SUPERVISE ALARM AND TROUBLE/FAULT CONDITIONS.

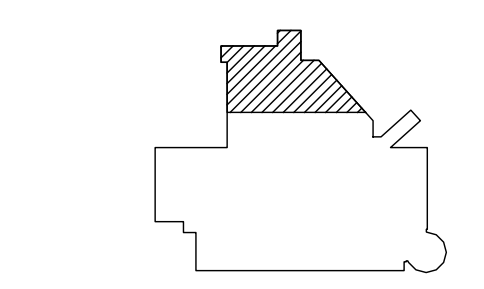
- 7 OSID BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10° FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2 TO 3 FEET (80CM TO 90CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 8 OSID BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10° FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2.5 TO 4 FEET (80CM TO 120CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 9 OSID BEAM SMOKE DETECTOR EMITTER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. EMITTER SHALL BE ALIGNED AND POSITIONED IN COORDINATE WITH ITS RESPECTIVE IMAGER.
- 10 PROVIDE HYPERSPIKE MODEL 90243A-804 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 90.8 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 19' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 6° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-802 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 11 PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 61.6 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 9' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 8° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.

- 12 PROVIDE HYPERSPIKE MODEL 90243A-802 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 27.4 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 9' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 25° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 13 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INTERFACING THE TWO (2) EXISTING KITCHEN HOOD SUPPRESSION SYSTEMS TO THE NEW FIRE ALARM SYSTEM. EACH SYSTEM SHALL BE SUPERVISED FOR ACTIVATION & OFF-NORMAL CONDITIONS.
- 14 THE CONTRACTOR SHALL FURNISH AND INSTALL TEN (10) RELAY MODULES FOR LIGHTING CONTROL INTERFACES ON THIS FLOOR, WHICH SHALL BE CONFIGURED TO BRING HOUSE LIGHTING TO FULL-BRIGHT UPON RECEIPT OF AN ALARM CONDITION. THE CONTRACTOR SHALL FURNISH AND INSTALL TEN (10) RELAY MODULES FOR AUDIO EQUIPMENT INTERFACES ON THIS FLOOR, WHICH SHALL TURN OFF ALL HOUSE AUDIO EQUIPMENT UPON RECEIPT OF AN ALARM CONDITION. THE EXACT LOCATION OF THESE MODULES SHALL BE COORDINATED WITH THE OWNER.



**FIFTH FLOOR (N) - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

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NO.	REVISION	DATE

PROJECT	RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT
ADDRESS	1 SABIN STREET PROVIDENCE, RI 02903
PROJECT NO.	1EMC00116.000
DATE	MAY 31, 2023
DESIGN	EBJ
DRAWN BY	EBJ
CHECKED BY	EMC   PSM
SCALE	0 8' 16' 32' 1/16"=1'-0"
TITLE	FIFTH FLOOR NORTH FIRE ALARM INSTALLATION PLAN
NUMBER	FA-5.1
SHEET	27 OF 29



**5TH FLOOR KEYNOTES**

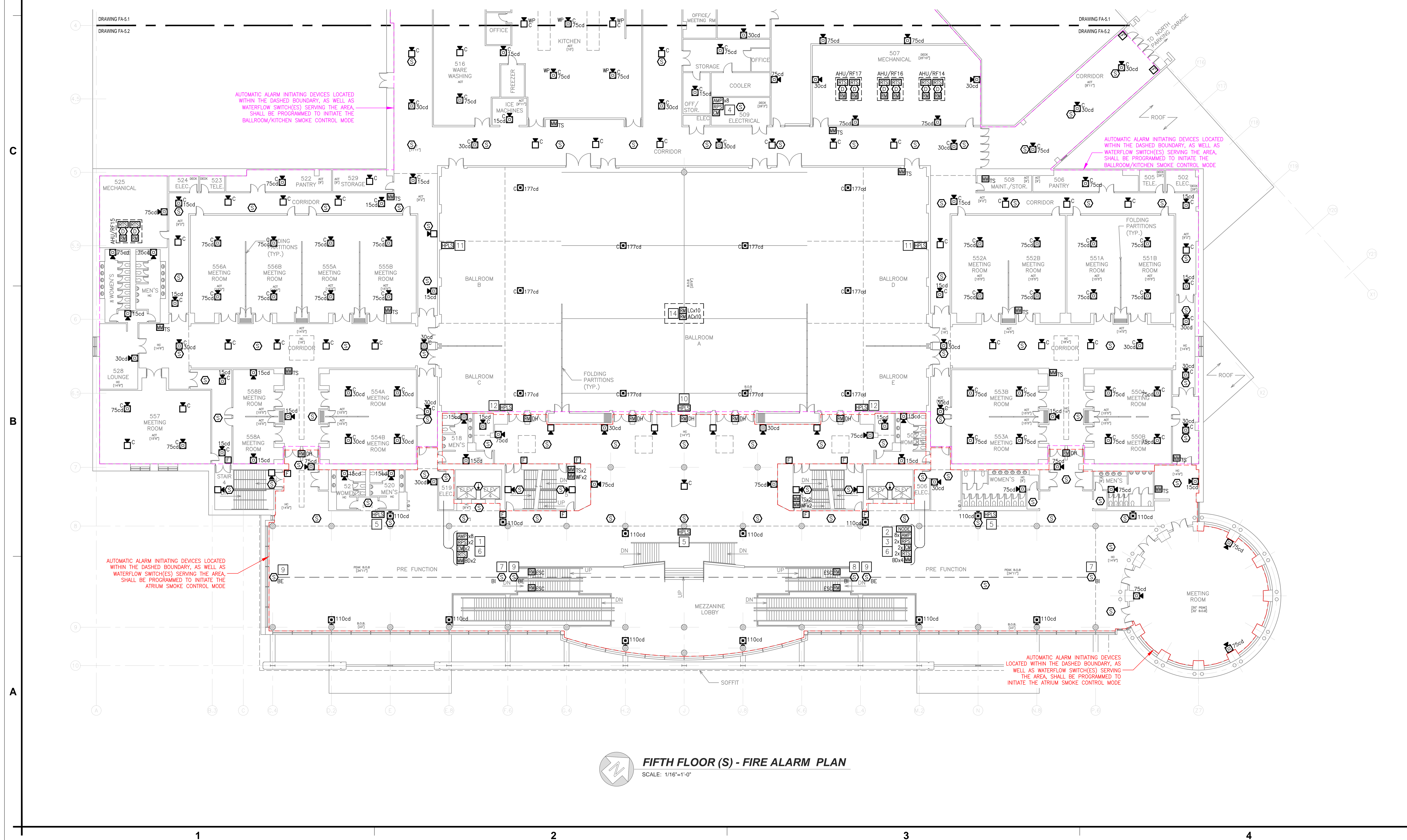
- 1 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (5.3, 5.4, 5.5 AND 5.6), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 5.3 AND 5.4.
- 2 PROPOSED FIRE ALARM NODE PANEL TO SERVE THE SIGNALING LINE CIRCUIT DEVICES LOCATED ON THE 4TH FLOOR, 5TH FLOOR, AND PENTHOUSE LEVELS.
- 3 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (4.1, 5.1, 5.2 AND P.1), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLIES 5.1 AND 5.2.
- 4 PROPOSED AUDIO EQUIPMENT CABINET(S) TO HOUSE FOUR (4) PRIMARY AUDIO AMPLIFIERS (4.2, 5.7, 5.8 AND S.203), AND FOUR (4) BACKUP AUDIO AMPLIFIERS (EACH SIZED THE SAME AS ITS ASSOCIATED PRIMARY AMPLIFIER). PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY 5.5.
- 5 PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDE 46.2 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 11' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 7° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 6 CONTRACTOR TO INSTALL BEAM SMOKE DETECTOR REMOTE TEST/RESET SWITCH IN AN ACCESSIBLE LOCATION. REMOTE TEST/RESET SWITCH REQUIRES 24VDC NON-RESETTABLE POWER. CONTRACTOR SHALL PROVIDE TWO (2) ADDRESSABLE MONITOR MODULES FOR EACH OSID IMAGER TO SUPERVISE ALARM AND TROUBLE/FAULT CONDITIONS.

- 7 OSID BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10° FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2 TO 3 FEET (80CM TO 90CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 8 OSID BEAM SMOKE DETECTOR IMAGER UNIT SHALL BE PROVIDED WITH A 10° FIELD OF VIEW LENS. IMAGER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. IMAGER SHALL BE POSITIONED SUCH THAT THE LENS IS LOCATED IN THE RANGE OF 2.5 TO 4 FEET (80CM TO 120CM) BELOW THE CEILING, AND SUCH THAT THE UNIT IS LOCATED NO MORE THAN 3 FEET, MEASURED HORIZONTALLY, FROM THE PEAK.
- 9 OSID BEAM SMOKE DETECTOR EMITTER UNIT REQUIRES 24VDC NON-RESETTABLE POWER SOURCE. EMITTER SHALL BE ALIGNED AND POSITIONED IN COORDINATE WITH ITS RESPECTIVE IMAGER.
- 10 PROVIDE HYPERSPIKE MODEL 90243A-804 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 90.8 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 19' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 6° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-802 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
- 11 PROVIDE HYPERSPIKE MODEL 90243A-803 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 81.6 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 9' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 8° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.

**SHEET NOTES**

- 12 PROVIDE HYPERSPIKE MODEL 90243A-802 LINE ARRAY LOUDSPEAKER. PER MODELING RESULTS, THE LOUDSPEAKER SHALL BE TAPPED TO PROVIDED 27.4 WATTS AT 70VRMS. THE SPEAKER SHALL BE MOUNTED IN THE VERTICAL ORIENTATION WITH THE CENTER OF THE SPEAKER AT APPROXIMATELY 9' ABOVE FINISHED FLOOR. SHALL BE TILTED DOWN APPROXIMATELY 25° FROM LEVEL, AND ITS SIDE-TO-SIDE SWIVEL ADJUSTMENT SHALL BE SUCH THAT IT IS PERPENDICULAR TO THE WALL WITH WHICH IT IS MOUNTED. A MODEL 72542B-801 TRANSFORMER SHALL BE PROVIDED FOR THE LOUDSPEAKER. IF APPROVED EQUIVALENT IS UTILIZED, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MODELING RESULTS OF THE ASSOCIATED AREA.
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**FIFTH FLOOR (S) - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

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KEY PLAN

NO.	REVISION	DATE

PROJECT: RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT

ADDRESS: 1 SABIN STREET PROVIDENCE, RI 02903

PROJECT NO: 1EMC00116.000

DATE: MAY 31, 2023

DESIGN: EBJ

DRAWN BY: EBJ

CHECKED BY: EMC | PSM

SCALE: 1/16"=1'-0"

TITLE: FIFTH FLOOR SOUTH FIRE ALARM INSTALLATION PLAN

NUMBER: FA-5.2

SHEET: 28 OF 29

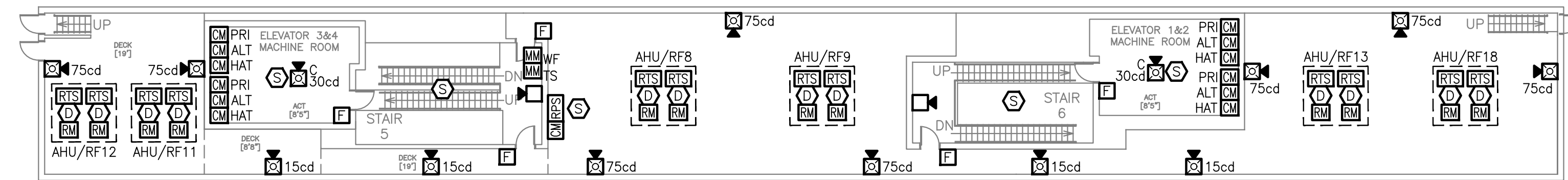
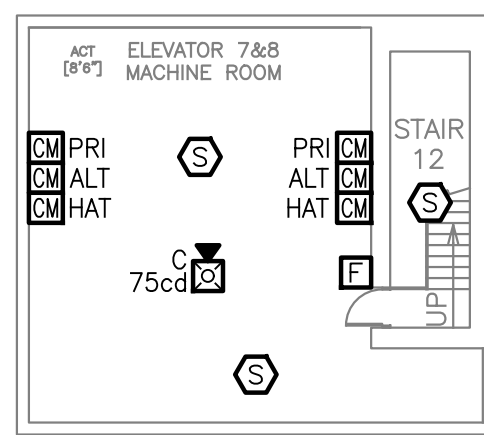


**PENTHOUSE KEYNOTES**

- 1. PROPOSED LOCATION FOR VISUAL (STROBE) NOTIFICATION APPLIANCE REMOTE POWER SUPPLY PH.1.

**SHEET NOTES**

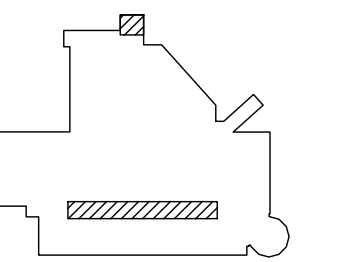
1. THE LOCATION OF THE DUCT SMOKE DETECTORS (RF & AHU) IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING DUCT SMOKE DETECTOR TO BE REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A NEW HOUSING AND SAMPLING TUBES ARE REQUIRED, OR IF THE EXISTING CAN BE REUSED AND IS COMPATIBLE WITH THE NEW EQUIPMENT. REMOTE TEST SWITCHES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY THE OWNER. EXACT INTERFACE LOCATION OF THE RELAY MODULES TO FACILITATE UNIT SHUTDOWN ON GENERAL ALARM AND ON ASSOCIATED DUCT SMOKE DETECTOR ACTIVATION IS TO BE DETERMINED BY THE INSTALLING CONTRACTOR.
2. THE AUDIO AMPLIFIERS FOR THE SPEAKER NOTIFICATION APPLIANCES ON THE PENTHOUSE LEVEL ARE PROPOSED TO BE INSTALLED ON THE FIFTH FLOOR.



**PENTHOUSE LEVEL - FIRE ALARM PLAN**  
SCALE: 1/16"=1'-0"

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DRAWING IN ANY WAY. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

KEY PLAN



NO.	REVISION	DATE

PROJECT  
**RHODE ISLAND CONVENTION CENTER FIRE ALARM SYSTEM REPLACEMENT**

ADDRESS  
1 SABIN STREET  
PROVIDENCE, RI 02903

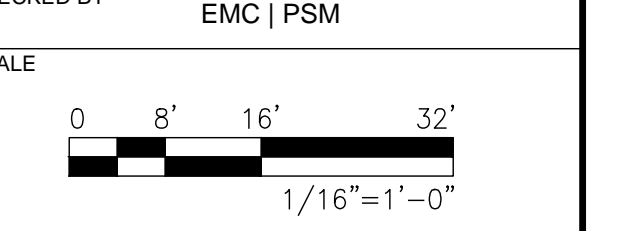
PROJECT NO  
1EMC00116.000

DATE  
MAY 31, 2023

DESIGN  
EBJ

DRAWN BY  
EBJ

CHECKED BY  
EMC | PSM



TITLE  
**PENTHOUSE LEVEL FIRE ALARM INSTALLATION PLAN**

NUMBER  
**FA-P.1**

SHEET  
29 OF 29



# RI CONVENTION CENTER DOORS

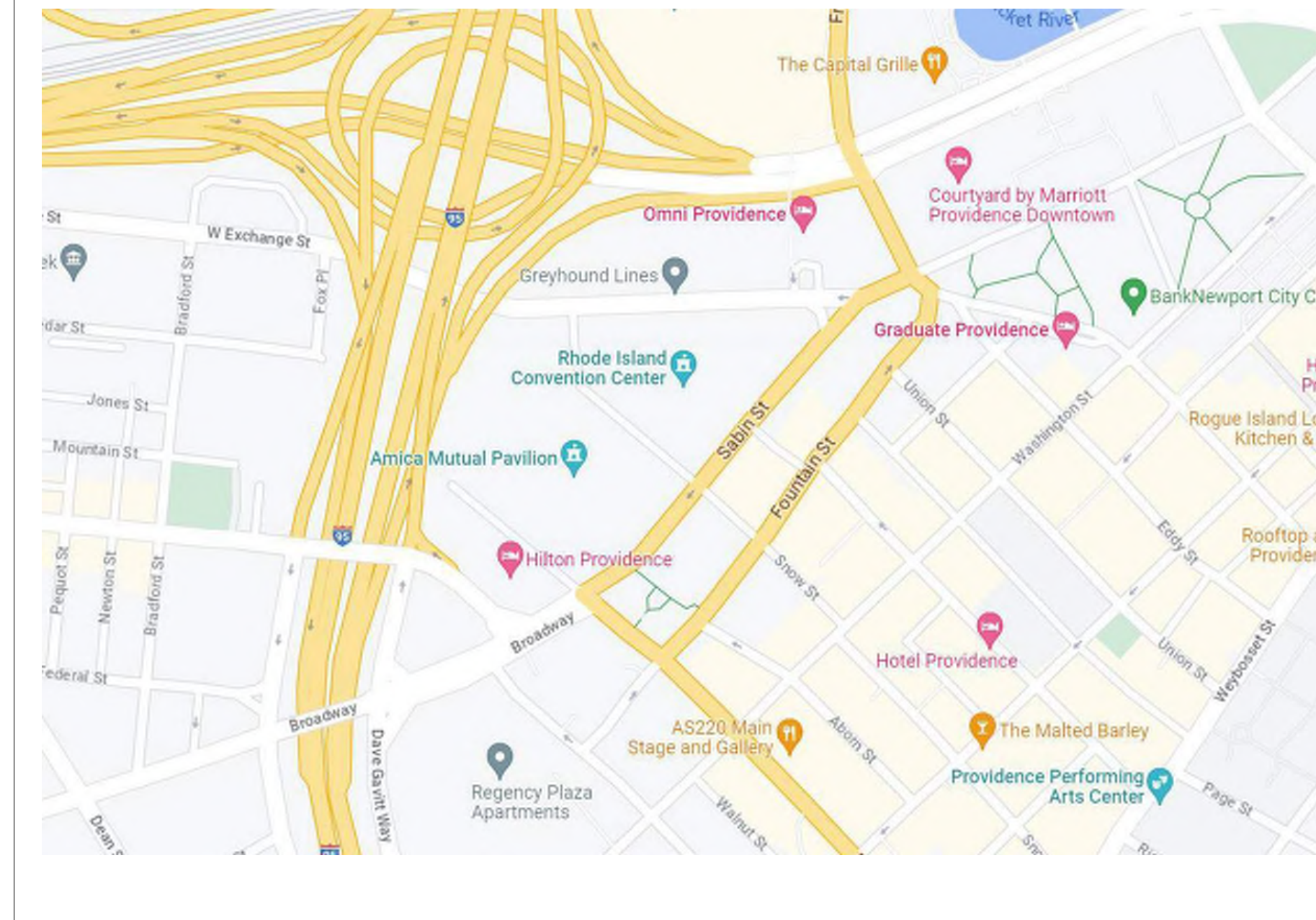
1 LASALLE SQUARE  
PROVIDENCE, RI

ISSUED FOR CONSTRUCTION

06/30/2023



LOCUS MAP



RI CONVENTION CENTER  
AUTHORITY

OWNER:

ARCHITECTURE AND INTERIORS:

ZDS inc.

2 CHARLES STREET SUITE A1 PROVIDENCE, RI 02904  
1405 RHODE ISLAND AVENUE NW WASHINGTON, DC 20005  
+1.401.680.6699 www.z-ds.com



THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

GENERAL NOTES

- A: GENERAL**
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH CONDITIONS AT THE SITE AFFECTING PERFORMANCE OF THE WORK.
  - THE WORK SHALL COMPLY WITH ALL GOVERNING STATE AND LOCAL CODES. ACCESSIBLE SPACES AND WORK SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY CODES
  - UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS (BUILDING, OCCUPANCY, ETC.) AND FEES FOR SAME, AS REQUIRED BY STATE AND LOCAL RULES AND REGULATIONS.
  - DAMAGES TO THE BUILDING OR PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE BUILDING OWNER.
  - THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS OR VENDORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.
  - THE CONTRACTOR SHALL REPLACE OR REMEDY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK. SUCH WORK IS TO BE COMPLETED AT NO COST TO THE OWNER.
  - FURNISH AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS OF INSTALLATION TO CONFORM WITH THE APPROPRIATE NATIONAL TRADE HANDBOOKS; I.E. ARCHITECTURAL WOODWORK INSTITUTE'S QUALITY STANDARDS, UNITED STATES GYPSUM, GYPSUM CONSTRUCTION HANDBOOK, ETC.
- B: COORDINATION**
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK, CONSTRUCTION SEQUENCING, SUBCONTRACTORS, AND INSTALLED LOCATION AND INTERFACE OF THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SYSTEMS AND EQUIPMENT WITH STRUCTURE, ARCHITECTURE, CEILING HEIGHTS, AND OTHER WORK.
  - DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE ALL CONTRACT DOCUMENTS BEFORE INSTALLATION OF THE WORK. THE CONTRACTOR SHALL CLARIFY DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTION.
  - MATTERS WITHIN THE SPECIFICATIONS WHICH MAY HAVE BEEN OMITTED IN THE DRAWINGS OR VICE VERSA SHALL BE CONSTRUED AS THOUGH CONTAINED IN BOTH.
  - SHOULD THE SPECIFICATIONS AND THE DRAWINGS DISAGREE WITH THEMSELVES OR WITH EACH OTHER, PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK, AS DETERMINED BY THE ARCHITECT, UNLESS OTHERWISE DIRECTED BY APPROVED CHANGE ORDER.
  - ALTERATIONS/DEVIATION FROM THE CONTRACT DOCUMENTS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN IN THE CONTRACT DOCUMENTS OR NOT, AND TO PROTECT THE UTILITIES FROM DAMAGE. REPAIR OR REPLACE UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH PERFORMANCE OF THE WORK AT THE EXPENSE OF THE CONTRACTOR.

- B: COORDINATION (CONT.)**
- PROVIDE BACK-BLOCKING FOR SUPPORT AND ATTACHMENT OF MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO ARCHITECTURAL WOODWORK, WALL AND/OR CEILING MOUNTED FINISHES, EQUIPMENT AND ACCESSORIES, GRAB BARS, CABINETS, FIXTURES, SIGNAGE, ETC. COORDINATE LOCATIONS WITH ARCH/OWNER.
  - PROVIDE ROUGH-INS AND WIRING FOR DATA AND PHONE OUTLETS WHERE REQUIRED BY OWNER. OWNER'S VENDOR SHALL PROVIDE TERMINAL DEVICES, UNLESS REQUIRED OTHERWISE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER AND THE FACILITIES EVENT SCHEDULE IN ORDER TO MAINTAIN EGRESS REQUIREMENTS. NO MORE THAN FOUR (4) DOORS MAY BE OFFLINE AT A TIME.
  - THE CONTRACTOR SHALL COORDINATE WITH OWNER AN APPROPRIATE AREA FOR STAGING/STORAGE OF MATERIALS ON SITE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PARKING AND ASSOCIATED PAYMENTS.
- C: MEASUREMENTS & DIMENSIONS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE ARCHITECT OF DISCREPANCIES AFFECTING PROPER COMPLETION OF THE WORK.
  - DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. TAKE WORKING DIMENSIONS FROM THE FIGURED DIMENSIONS, OR BY ACTUAL MEASUREMENTS TAKEN IN THE FIELD. DEVIATION FROM THE DOCUMENTS AND THE DIMENSIONS GIVEN IN THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO COMPLETION OF THE WORK IN QUESTION.
- D: MATERIAL REQUIREMENTS**
- WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE TREATED.
  - COMBUSTIBLE MATERIALS ARE NOT ALLOWED IN CONCEALED SPACES AS DETERMINED BY CODE.
  - STRUCTURE SHALL BE RATED AS NOTED ON CODE DRAWINGS. MAINTAIN RATINGS OF FIRE-RATED ASSEMBLIES.
  - PAINTING, VARNISHING OR THE USE OF OTHER NOXIOUS SUBSTANCES MUST BE ISOLATED FROM ADJOINING SPACES.
  - PROVIDE ATTIC STOCK FOR MATERIALS. COORDINATE QUANTITIES AND SCHEDULE WITH THE OWNER.
- E: DEFINITIONS AND METHODOLOGIES**
- DIMENSIONS, ANNOTATIONS, NOTES, FINISHES, FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
  - TYPICAL, OR "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS REQUIRED OTHERWISE.

ABBREVIATIONS

ACOUST	ACOUSTICAL	MAX	MAXIMUM
ACC	ACCESSIBLE	MDO	MEDIUM DENSITY OVERLAY
ACS	ARCHITECTURAL CAST STONE	MECH	MECHANICAL
ACT	ACOUSTIC CEILING TILE	MANF	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF/A.F.F.	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MO	MASONRY OPENING
ANOD	ANODIZED	MTL	METAL
ARCH	ARCHITECT (URAL)	N	NORTH
AUTO	AUTOMATIC	NA/ N/A	NOT APPLICABLE
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NOM	NOMINAL
BLKG	BLOCKING	NTS	NOT TO SCALE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OC	ON CENTER
CJ	CONTROL JOINT	OD	OUTSIDE DIAMETER
CL	CENTER LINE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CLG	CEILING	OFOI	OWNER FURNISHED OWNER INSTALLED
CLO	CLOSET	OPG	OPENING
CLR	CLEAR(ANCE)	OH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	PART	PARTITION
CONC	CONCRETE	PNT/PTD	PAINT
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUE/CONTINUOUS	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLUM-	PLUMB(ING)
CT	CERAMIC TILE	PLY/PlyWD	PLYWOOD
CTR	CENTER	PR	PAIR
DBL	DOUBLE	PSI	POUNDS/SQUARE INCH
DIA	DIAMETER	PT	PRESSURE TREATED
DIM	DIMENSION	PVC	POLYVINYL CHLORIDE
DS	DOWN SPOUT	RAD	RADIUS
DTL	DETAIL	RD	ROOF DRAIN
DWG(S)	DRAWING(S)	REF	REFER
E	EACH	REFR	REFRIGERATOR
EA	EACH	REINF	REINFORCE
EJ	EXPANSION JOINT	REQ/REQ'D	REQUIRED
ELEC	ELECTRIC(AL)	RH	RIGHT HAND
ELEV	ELEVATION	RHR	RIGHT HAND REVERSE
ELVT	ELEVATOR	RM	ROOM
EQ	EQUIPMENT	RO	ROUGH OPENING
EQUIP	EQUIPMENT	ROW	RIGHT OF WAY
EXT	EXTERIOR OR EXTENDED	R&S	ROD & SHELF
EXG	EXISTING	S	SOUTH
FD	FLOOR DRAIN, REF: PLUMBING FOR SIZE AND TYPE	SCW	SOLID CORE WOOD
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE
FEC	FIRE EXTINGUISHER CABINET	SECT	SECTION
FIN	FINISH	SHIT	SHEET
FFE	FURNITURE, FIXTURE & EQUIPMENT	SIM	SIMILAR
FT	FOOT	SPEC	SPECIFICATION
FR	FIRE RATED	SQ	SQUARE
FRT	FIRE RESISTANT TREATED WOOD	SS	STAINLESS STEEL
FRP	FIBERGLASS REINFORCED PANEL	STD	STANDARD
GA	GALVANIZED	STL	STEEL
GLAV	GENERAL CONTRACTOR	STO	STORAGE
GC	GLASS/GLAZING	STRUC, S-	STRUCTURAL
GL	GUEST	SUSP	SUSPENDED
GU	GUEST	SYM	SYMMETRICAL
GWB	GYPSUM WALL BOARD	SYS	SYSTEM
GYP	GYPSUM	TELE	TELEPHONE
HB	HOSE BIB	TEMP	TEMPERED
HC	HOLLOW CORE	T&G	TONGUE & GROOVE
HDWR	HARDWARE	TC	TOP OF CURB
HH	HEAD HEIGHT	TLT	TOILET
HM	HOLLOW METAL	TP	TOP OF PAVEMENT
HR	HOUR	TV	TELEVISION
HT	HEIGHT	TYP	TYPICAL
HVAC	HEAT/VENT/AIR CONDITION	UNO/UON	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	VCT	VINYL COMPOSITION TILE
INCL	INCLUDE(D)	VIF/V.I.F.	VERIFY IN FIELD
INSUL	INSULATION	VVC	VINYL WALL COVERING
INT	INTERIOR	W	WEST
JT	JOINT	W/	WITH
KD	KNOCK DOWN	WC	WATER CLOSET
KP	KICK PLATE	WD	WOOD
LAM	LAMINATE	WM	WIRE MOLD BASE, REF: ELECT.
LAV	LAVATORY	W/O	WITHOUT
LAV	LAVATORY	WRB	WATER RESISTANT
LH	LEFT HAND	WTR	WATER
LHR	LEFT HAND REVERSE	WWF	WELDED WIRE FABRIC
MAS	MASONRY		
MAT	MATERIAL		

SYMBOLS LEGEND

**VIEW REFERENCES:**

1 View Name  
1/8" = 1'-0"

PLAN/ELEVATION/DETAIL  
TITLE TAG

1  
A101

CALLOUT REFERENCE

1  
A101

INTERIOR/EXTERIOR  
ELEVATION REFERENCE TAG

1  
A101

1  
A101

BUILDING SECTION TAG

1  
A101

WALL SECTION TAG

1  
A101

DETAIL REFERENCE

**ELEMENT TAGS:**

Room name	ROOM NAME/NO.	X	CURTAIN WALL PANEL TAG
101			
101A	DOOR TAG	MWXX	CASEWORK TAG
x' - x"	CEILING HEIGHT TAG	?	FINISH/MATL TAG
X	WINDOW / CURTAIN-WALL TAG	XX-XX	FURNITURE, FIXTURE, & EQUIPMENT TAG

**REVISIONS:**

TYPE PREFIXES:  
A = ADDENDUM  
B = BULLETIN  
R = REVISION

001

TYPE NUMBER

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	SUBMISSION XX/XX/XXXX
C1	COVER & GENERAL	
A1.00	EXISTING PHOTOS AND SCOPE	
A3.00	EXTERIOR ELEVATIONS	



### DOORS 1, 2, 3, 4

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
  - THUMB LATCH TO MATCH EXISTING SET AT DOORS 1&2
- PROVIDE ONE (1) AUTOMATIC DOOR OPENER AT DOOR 4
- FINISH TO BE ANODIZED ALUMINUM

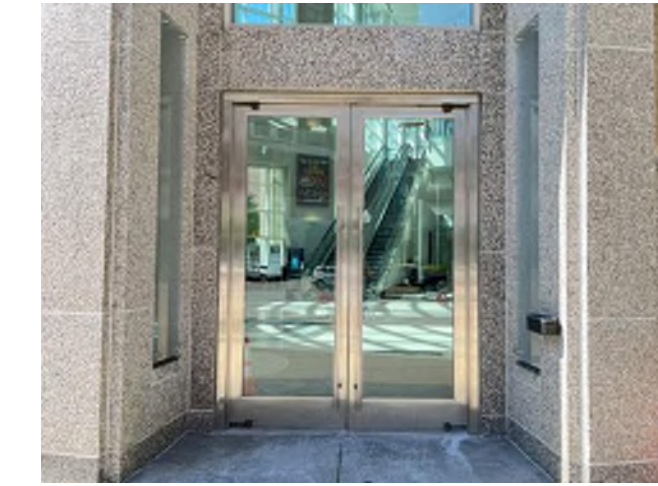
EXISTING INTERIOR VIEW



1 DOORS 1-4  
3" = 1'-0"

### DOORS 5, 6

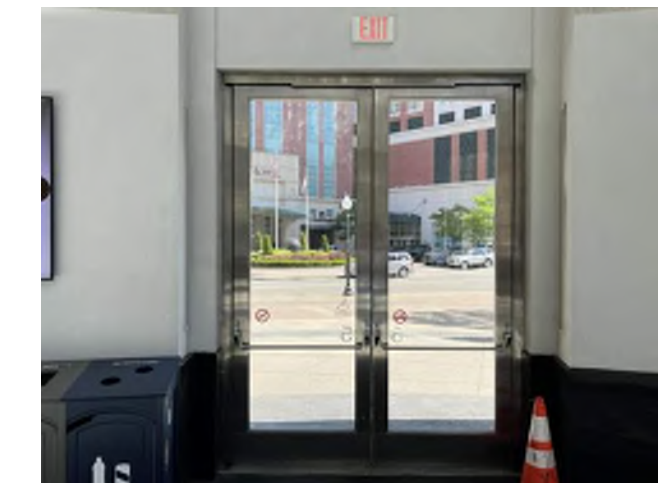
EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
- FINISH TO BE ANODIZED ALUMINUM

EXISTING INTERIOR VIEW



2 DOORS 5-6  
3" = 1'-0"

### DOORS 7, 8

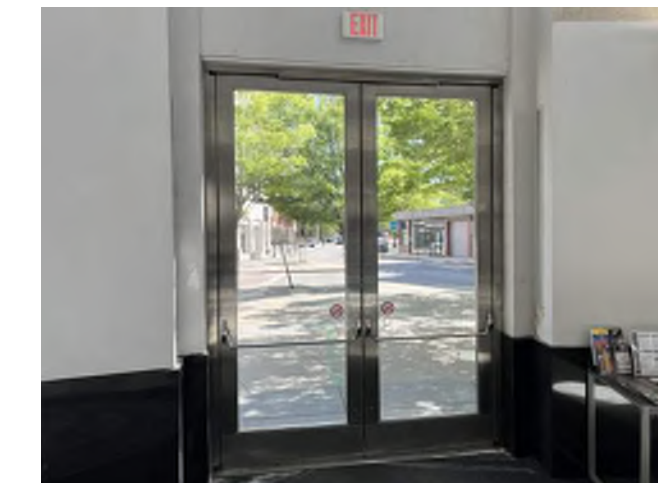
EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
- PROVIDE ONE (1) AUTOMATIC DOOR OPENER AT DOOR 8
- FINISH TO BE ANODIZED ALUMINUM

EXISTING INTERIOR VIEW



3 DOORS 7-8  
3" = 1'-0"

### DOORS 9, 10, 11, 12

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
- PROVIDE ONE (1) AUTOMATIC DOOR OPENER AT DOOR 9
- FINISH TO BE ANODIZED ALUMINUM

EXISTING INTERIOR VIEW



4 DOORS 9-12  
3" = 1'-0"

### DOORS 13, 14, 15, 16

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
- GASKETING, SWEEPS, FINISH TO BE ANODIZED ALUMINUM

EXISTING INTERIOR VIEW



5 DOORS 13-16  
3" = 1'-0"

### DOORS 17, 18, 19, 20

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
- PROVIDE ONE (1) AUTOMATIC DOOR OPENER AT DOOR 20
- FINISH TO BE ANODIZED ALUMINUM
- TEMPORARILY REMOVE, SALVAGE, AND REINSTALL EXISTING MAGLOCK TO DOOR 17

EXISTING INTERIOR VIEW



6 DOORS 17-20  
3" = 1'-0"

### DOORS 21, 22, 23, 24

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
  - THUMB LATCH TO MATCH EXISTING SET AT DOORS 23&24
- FINISH TO BE ANODIZED ALUMINUM

EXISTING INTERIOR VIEW



7 DOORS 21-24  
3" = 1'-0"

### DOORS INTERIOR

EXISTING EXTERIOR VIEW



SCOPE OF WORK:

- REMOVE AND DEMOLISH EXISTING DOORS AND FRAME.
- PREPARE AREA FOR NEW WORK
- PROVIDE NEW DOORS AND FRAME WITH TRANSOM
- PROVIDE NEW DOOR HARDWARE
  - PULLS ON EXTERIOR
  - PUSH BAR ON INTERIOR
  - GASKETING, SWEEPS, THRESHOLD, ETC.
  - THUMB LATCH TO MATCH EXISTING SET AT DOORS CLOSEST TO THE EXTERIOR WALL
- PROVIDE ONE (1) AUTOMATIC DOOR OPENER AT DOOR CLOSEST TO EXTERIOR WALL.
- FINISH TO BE ANODIZED ALUMINUM

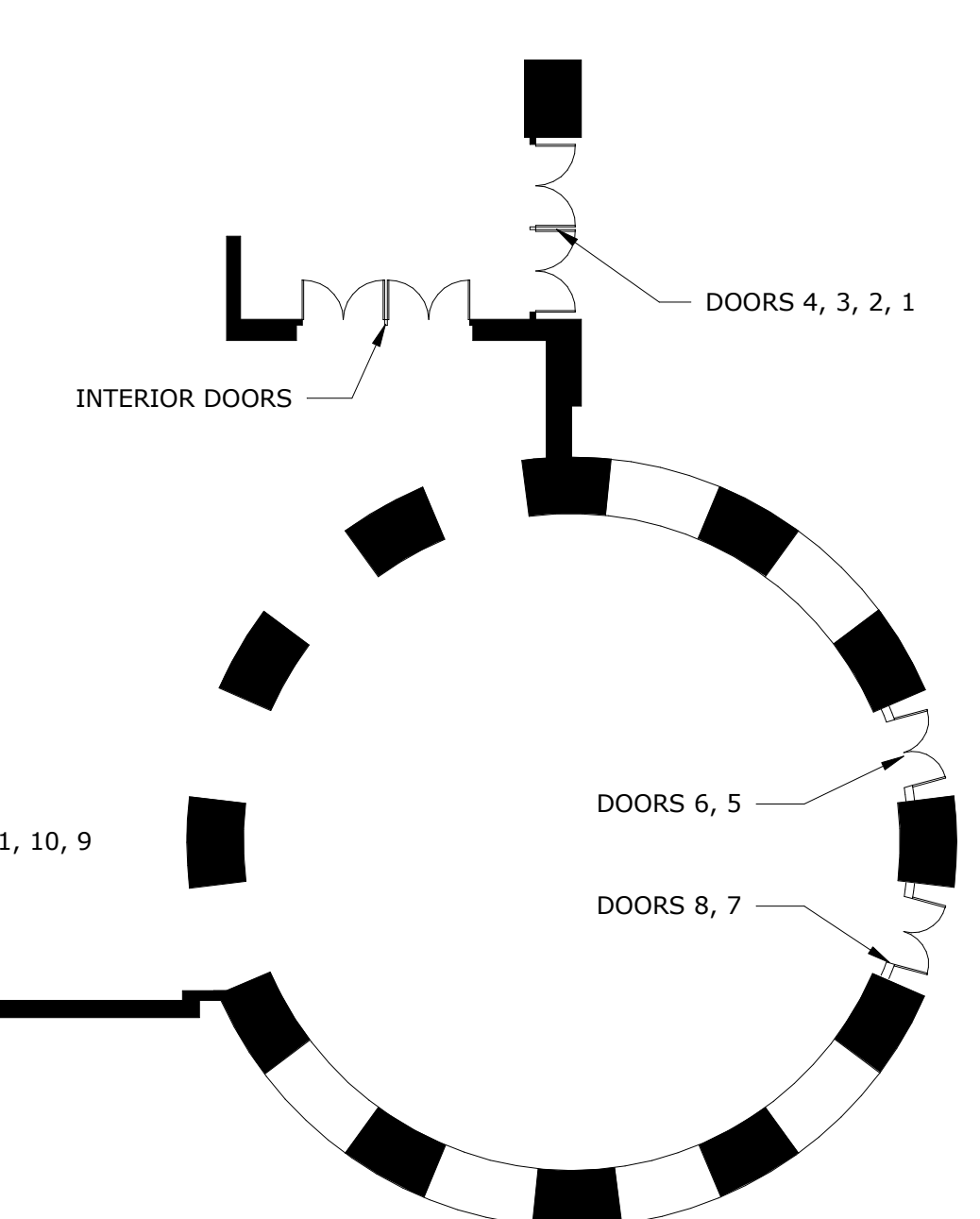
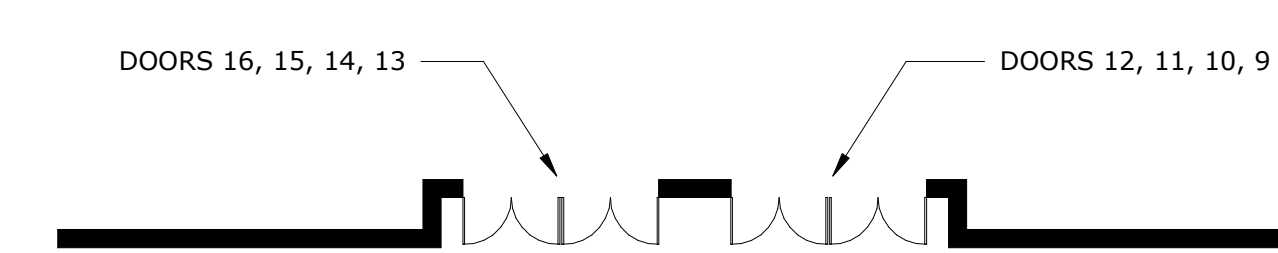
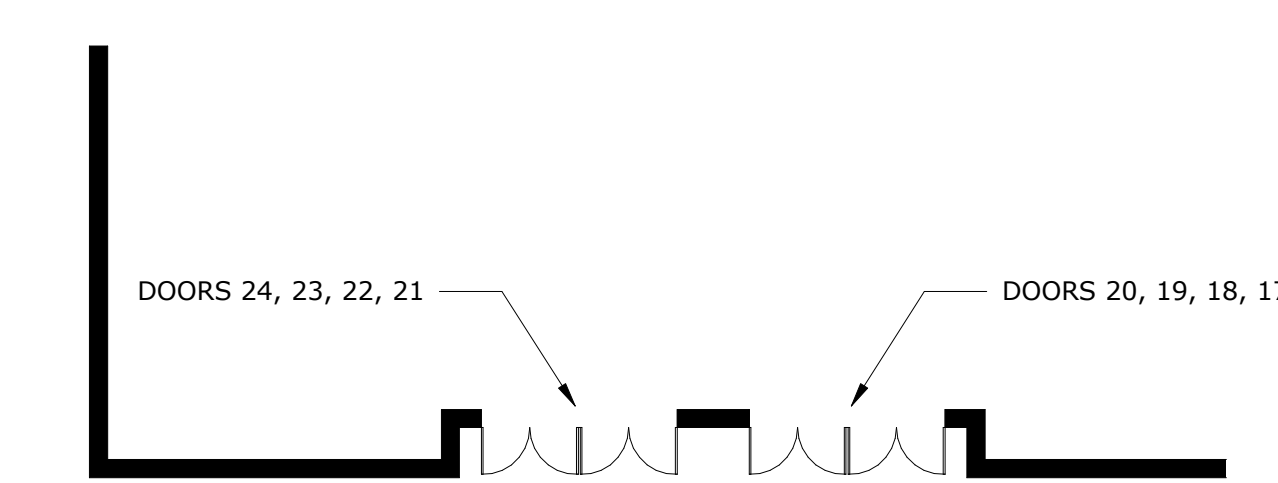
EXISTING INTERIOR VIEW



8 DOORS INTERIOR  
3" = 1'-0"

#### EXISTING DOOR SCHEDULE

DOOR NUMBER	EXISTING WIDTH	EXISTING HEIGHT	EXISTING THICK	MATERIAL	NOTES
1/2	PAIR 3'-6"	9'-6 3/8"	1 3/4"	ALUM.	
3/4	PAIR 3'-6"	9'-6 3/8"	1 3/4"	ALUM.	
5/6	PAIR 3'-0"	9'-6 3/8"	1 3/4"	ALUM.	
7/8	PAIR 3'-0"	9'-6 3/8"	1 3/4"	ALUM.	
9/10	PAIR 3'-10 3/4"	9'-6 3/8"	1 3/4"	ALUM.	
11/12	PAIR 3'-10 3/4"	9'-6 3/8"	1 3/4"	ALUM.	
13/14	PAIR 3'-10 3/4"	9'-6 3/8"	1 3/4"	ALUM.	
15/16	PAIR 3'-10 3/4"	9'-6 3/8"	1 3/4"	ALUM.	
17/18	PAIR 3'-10 3/4"	8'-8 3/8"	1 3/4"	ALUM.	17-CONNECTED TO MAGLOCK
19/20	PAIR 3'-10 3/4"	8'-8 3/8"	1 3/4"	ALUM.	
21/22	PAIR 3'-10 3/4"	8'-8 3/8"	1 3/4"	ALUM.	
23/24	PAIR 3'-10 3/4"	8'-8 3/8"	1 3/4"	ALUM.	
INTERIOR 1	PAIR 3'-6"	9'-6 3/8"	1 3/4"	ALUM.	
INTERIOR 2	PAIR 3'-6"	9'-6 3/8"	1 3/4"	ALUM.	



10 PARTIAL GROUND FLOOR PLAN  
1/16" = 1'-0"

CLIENT  
RI CONVENTION CENTER  
AUTHORITY

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STAMP

CONSULTANT

PROJECT NAME  
**RI  
CONVENTION  
CENTER DOORS**  
1 LASALLE SQUARE  
PROVIDENCE, RI

PROJECT NO. 23025-D  
THESE DRAWINGS ARE FOR THE  
CONSTRUCTION OF THE PROJECT LISTED  
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LEVELS AND MEASUREMENTS NECESSARY  
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AND INSTALLATION OF THE WORK.  
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WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE

**ISSUED FOR  
CONSTRUCTION**

ISSUED DATE: 06/30/2023

SHEET TITLE  
**EXISTING  
PHOTOS AND  
SCOPE**

DRAWING NO.

**A1.00**



